

HALDEN GLEN

Situate in

NW.1/4 SW.1/4 SEC. 13, TWP. 26N., RG. 1E., W.M. City of Poulsbo, Kitsap County, Washington.

DEDICATION

Know all persons by these presents, that the undersigned owners in fee simple of the land being platted hereby declare this land platted and dedicated to the use of the public forever all streets and roads shown on the plat and the use thereof for any and all public purposes not inconsistent with the use thereof for public highway purposes; also the right to make all necessary slopes for cuts and fills upon the lots shown on this plat in the reasonable original grading of all the streets and roads shown hereon; also the right to drain all streets, roads and easements over and across any lot or lots where water might take a natural drainage course after the street or streets are graded.

Dimensions and use of all lots embraced in this plat are subject to and shall be in conformity with the City of Poulsbo Zoning regulations. The owners hereof, and their successors and assigns, hereby waive all claims for damages against any governmental authority from construction and maintenance of public facilities and public property within this plat.

All sanitary sewers, storm sewers, water mains and appurtenances, and empty telecommunications conduit (installed for future use) which are located within public right-of-way or within easements specifically dedicated to the City of Poulsbo are hereby granted and conveyed to the ownership of the City of Poulsbo.

This subdivision has been made with the free consent and in accordance with the wishes of the undersigned owner(s). In witness whereof we have hereunto set our hands and seals.

Hell Clark
Caldart Ave, LLC
by Kelly Clark
Managing Member

Jon Murlock
First Federal Savings & Loan
Association of Port Angeles
by Jon Murlock
Vice President
Secondary Market Manager

ACKNOWLEDGMENT

State of WASHINGTON)
County of KITSAP) SS

On this day personally appeared before me Kelly Clark to me known to be the Managing Member of Caldart Ave, Inc. the LLC that executed the within and foregoing instrument and acknowledged said instrument to be the free and voluntary act and deed of said LLC for the uses and purposes therein mentioned and on oath stated that he is authorized to execute said instrument.

Given under my hand and official seal this 29 day of SEPTEMBER, 2016.

Chad E. Bell
Notary Public in and for the State of WASHINGTON
Residing at SILVERDALE, WA

ACKNOWLEDGMENT

State of WASHINGTON)
County of KITSAP) SS

On this day personally appeared before me Jon Murlock to me known to be the VICE PRESIDENT, First Federal Savings & Loan Association of Port Angeles, Inc., the Association that executed the within and foregoing instrument and acknowledged said instrument to be the free and voluntary act and deed of said Association for the uses and purposes therein mentioned, and on oath stated that he is authorized to execute said instrument.

Given under my hand and official seal this 30 day of SEPTEMBER, 2016.

Chad E. Bell
Notary Public in and for the State of WASHINGTON
Residing at SILVERDALE, WA

CHARLESE BALDRIDGE
NOTARY PUBLIC
STATE OF WASHINGTON
MY COMMISSION EXPIRES
4-24-17

AES
CONSULTANTS, INC.
P.O. BOX 930 • SILVERDALE, WA 98383 • (360)992-6100

Drawn By:	B.J.M.
Date:	9/22/16
Checked By:	S.F.O.
Job No.	6080

EASEMENT PROVISIONS

UTILITY EASEMENTS

(A) The undersigned hereby grants, conveys, and quit claims to the Plat of Halden Glen Homeowner's Association, Puget Sound Energy, United Telephone Company (dba Embark), Comcast of Washington, the City of Poulsbo, and other utility companies having franchise or permits from the City of Poulsbo, and their respective successors and assigns, a non-exclusive easement under, across, through, and upon a "10 foot Utilities Easement" adjacent to the public and private roadways on each lot for the purpose of construction, renewal, operation, use, and maintenance of underground conduits, cable, pipeline, and wires, together with the necessary facilities and other equipment appurtenant thereto, including ground-mounted appurtenances, for the purpose of serving this subdivision and other property with electric, communications, drainage, and other utility service, together with the right of reasonable access, said property and to enter upon all tracts and lots located within the plat of Halden Glen, to facilitate the purposes set forth herein.

All utility easements shown shall benefit the above listed entities and the lots they touch.

All storm sewer easements shall benefit Lots 7 through 13, inclusive.

All Tree Retention Easements shall benefit the Halden Glen H.O.A. for the retention and preservation of the trees.

The Access and Utility Easement across Lots 11 and 12 shall be maintained equally by Lots 10, 11, and 12.

(B) To the extent reasonable and practical, the easements granted herein are subject to the following terms and conditions:

- Upon completion of any work within the property covered by the easement, the easement shall be restored as nearly as practicable to condition it was in immediately before commencement of the work or entry.
- The property owner shall retain the right to use the surface of the easement as long as such use does not reasonably interfere with the easement rights granted herein. The property owner shall not however, have the right to:
 - Erect or maintain any building or structure within the easement, except for fencing, which shall be subject to the approval of the City of Poulsbo; or
 - Plant trees, shrubs or vegetation having deep root patterns which may cause damage to or interfere with the utilities that are placed or will be placed within the easement; or
 - Develop, landscape, or beautify the easement area in any way which would unreasonably increase the costs of restoring the easement area. Typical Northwest landscaping shall not be considered to unreasonably increase the cost of restoring the easement area.
 - Install rockeries or retaining walls within the easement.

LEGAL DESCRIPTION

THE SOUTH 225 FEET OF THE FOLLOWING DESCRIBED PROPERTY:
BEGINNING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER, SECTION 13, TOWNSHIP 26 NORTH, RANGE 1 EAST, W.M., IN KITSAP COUNTY, WASHINGTON; THENCE EAST 36 RODS; THENCE NORTH 40 RODS; THENCE WEST 36 RODS; THENCE SOUTH 40 RODS TO THE POINT OF BEGINNING;
EXCEPT CALDAR, AVENUE N.E.

TITLE NOTES

- Existing driveway as disclosed by Short Plats recorded under Auditor's File Nos. 94092801108 and 9603040054 is now wholly contained within the Public Road depicted hereon as "Halden Court".
- The existing well referred to in the Well Maintenance Agreement per Auditor's File No. 201403120167 has been recommissioned. Per said agreement, the Agreement is now terminated.
- Grant of Roadway Easement and Road Maintenance Agreement is now wholly contained with the Public Road depicted hereon as "Halden Court".
- Site is subject to an easement for utility systems per Auditor's File No. 201512170210 for the public road "Halden Court" and 10' strips as depicted hereon.

APPROVALS

Approved by the Engineering Department of the City of Poulsbo this 19th day of Nov, 2016.

Daniel Stein
City Engineer, Poulsbo, Washington

Approved by the City of Poulsbo Planning Commission this 18th day of SEPTEMBER, 2016.

Steve Ottmar
Chairman, City of Poulsbo Planning Commission, Poulsbo, WA.

The City Council of the City of Poulsbo, meeting in regular session the 12th day of Oct, 2016, find that the Plat of HALDEN GLEN serves the public use and interest and has authorized its Mayor to execute its written approval.

PRO
Mayor, City of Poulsbo

TREASURERS CERTIFICATE

I, Meredith R Green, Treasurer of Kitsap County, Washington, hereby certify that all taxes on the herein described property are fully paid to and including the year 2017.

Meredith R Green
Kitsap County Treasurer
By: Deputy

RECORDING CERTIFICATE

Filed for record at the request of City of Poulsbo
this 19th day of November, 2016, at 14 minutes past 9 o'clock A M., and recorded in volume 34 of plats, pages 112-116, records of Kitsap County, Washington.

D. Gilmore
Kitsap County Auditor
By: Deputy

PROTECTIVE COVENANTS

See Protective Covenants, Conditions, Restrictions and Easements as recorded under Auditor's File No. 201611170037.

SURVEYOR'S CERTIFICATE

I, Steven E. Ottmar, registered as a professional land surveyor by the state of Washington, certify that this plat is based on an actual survey of the land herein described, conducted by me or under my supervision, during the period JUNE 2015 through SEPT. 2016 that the distances, courses, and angles are shown hereon correctly, and that monuments other than those monuments approved for setting at a later date, have been set and the lot corners staked on the ground as depicted on the Plat.

Steven E. Ottmar
Steven E. Ottmar, P.L.S.



201611170038 34/112

HALDEN GLEN

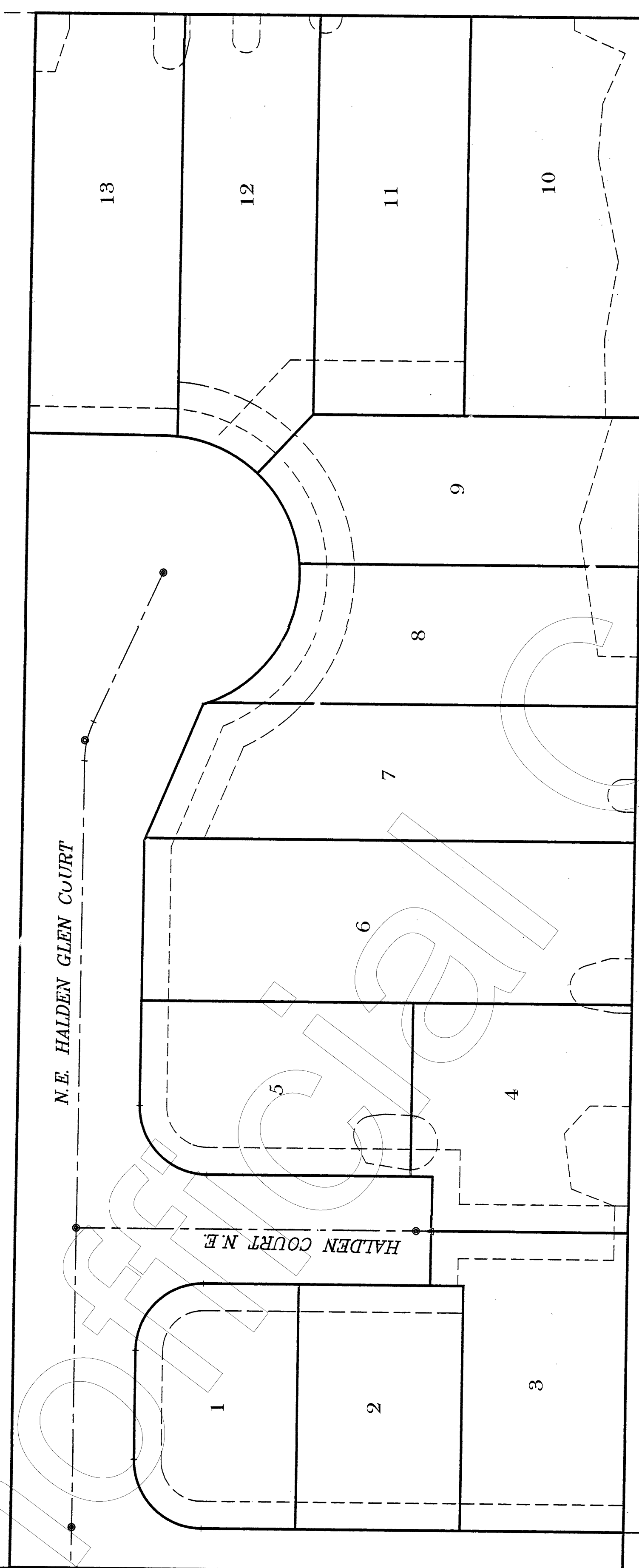
Situate in
 NW.1/4 SW.1/4 SEC. 13, TWP. 26N., RG. 1E., W.M.
 City of Poulsbo, Kitsap County, Washington

14013

CALDART AVE. N.E.

N.E. HALDEN GLEN COURT

HALDEN COURT N.E.



NORTH: per NAD 83 1991

14113
 23124

OVERALL VIEW

(See sheets 3 through 5 for details)

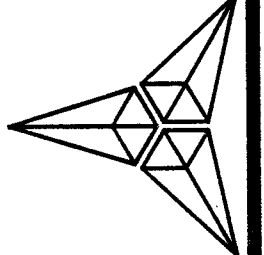
LEGEND

- Set 2" concrete filled Iron Pipe with rebar core and plastic I.D. cap.
- ⊙ Set 2" concrete filled Iron Pipe with 1" bronze plug imprinted "AES 20795".
- △ Set 1/2" MAG nail with washer "AES 20795"
- Found survey point as noted

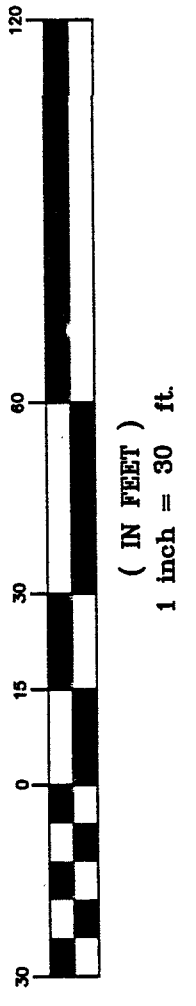


Drawn By:	B.J.A.
Date:	10/17/16
Checked By:	S.E.O.
Job No.	6080

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GRAPHIC SCALE



201611170038 34/113

HALDEN GLEN

Situate in
 NW.1/4 SW.1/4 SEC. 13, TWP. 26N., RG. 1E., W.M.
 City of Poulsbo, Kitsap County, Washington

Standard Kitsap
 County concrete
 Monument
 Visited 7/28/99

14013

1098.57'

Found 1" Iron Pipe
 572.16'

417.16'

Found 1" Iron Pipe
 572.16'

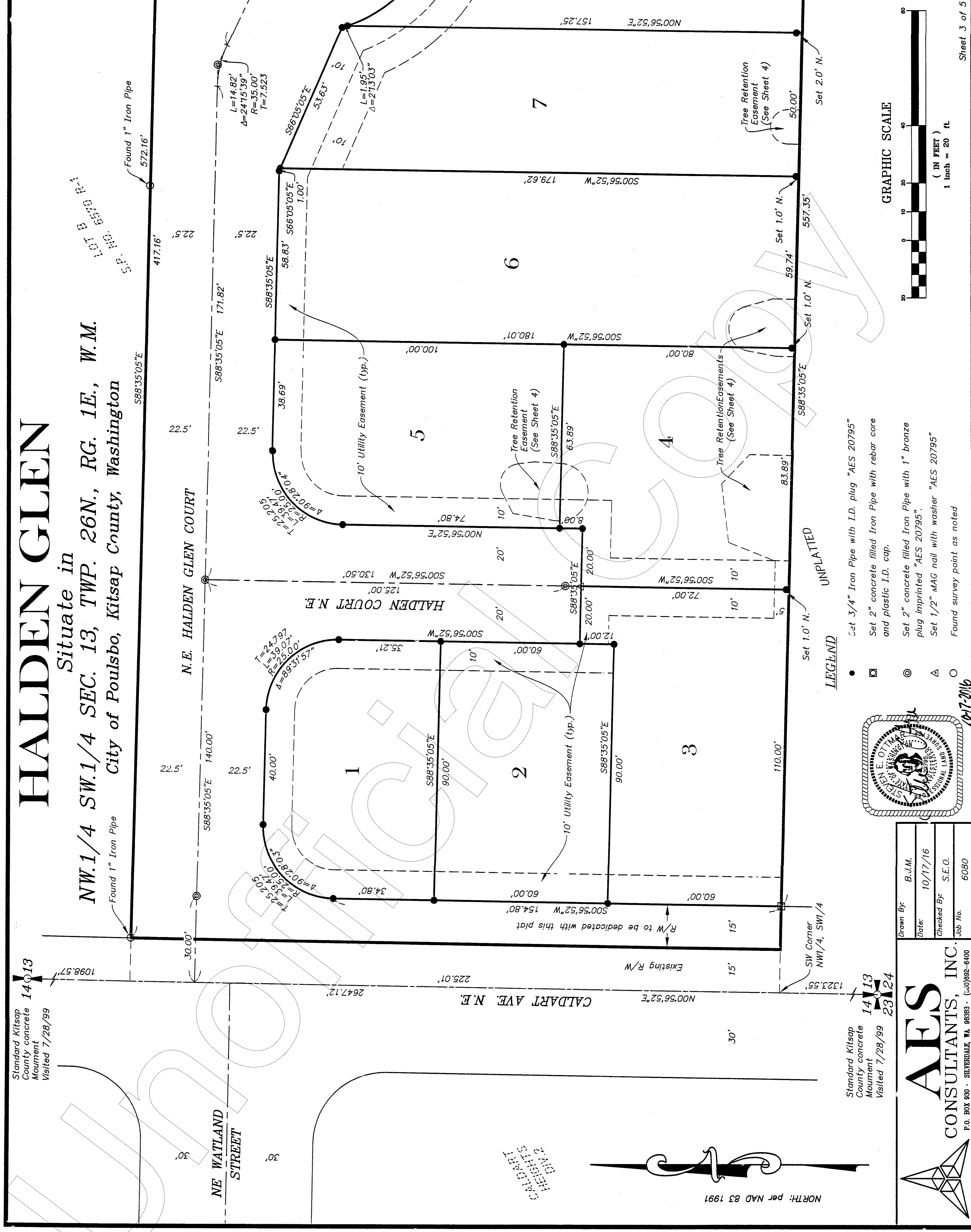
S88°35'05"E

N.E. HALDEN GLEN COURT

NE WATLAND STREET

CALDART AVE. N.E.

HALDEN COURT N.E.



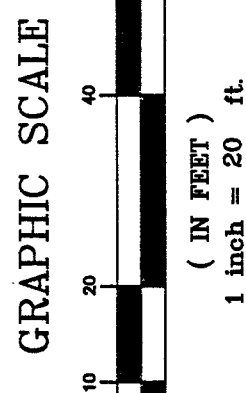
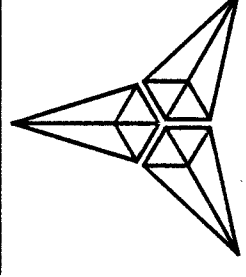
UNPLATTED
 LEGEND

- Set 3/4" Iron Pipe with I.D. plug "AES 20795"
- Set 2" concrete filled Iron Pipe with rebar core and plastic I.D. cap.
- ⊙ Set 2" concrete filled Iron Pipe with 1" bronze plug imprinted "AES 20795".
- △ Set 1/2" MAG nail with washer "AES 20795"
- Found survey point as noted



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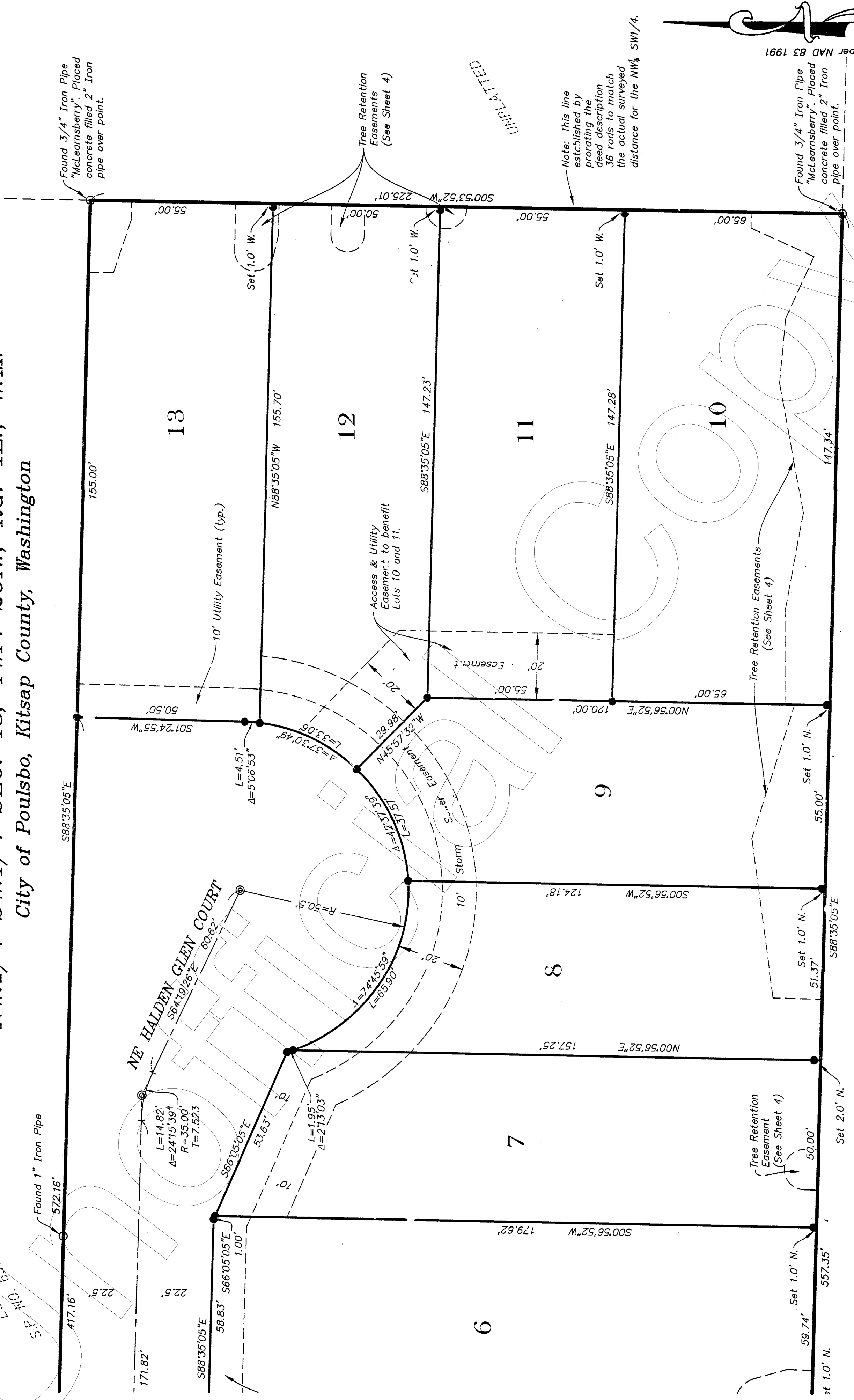
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201611170038 34/114

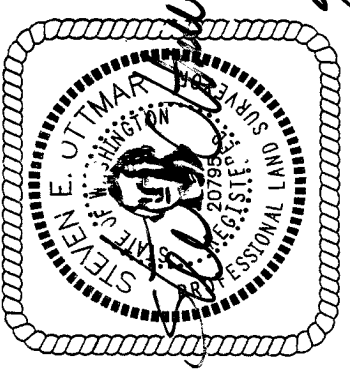
HALDEN GLEN

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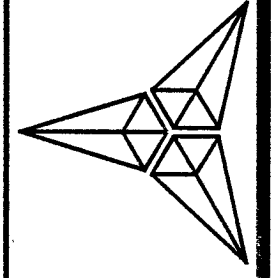
LEGEND

- Set 3/4" Iron Pipe w/it. I.D. plug "AES 20795"
- ◻ Set 3" diameter by 24" Long concrete filled corrugated plastic pipe with 1/2" rebar core and 2" diameter Brass Cap. "AES 20795".
- ⊙ Set 2" concrete filled Iron Pipe with 1" bronze plug imprinted "AES 20795".



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NORTH: per NAD 83 1991

Note: This line established by prorating the deed description 36 rods to match the actual surveyed distance for the NW 1/4 SW 1/4.

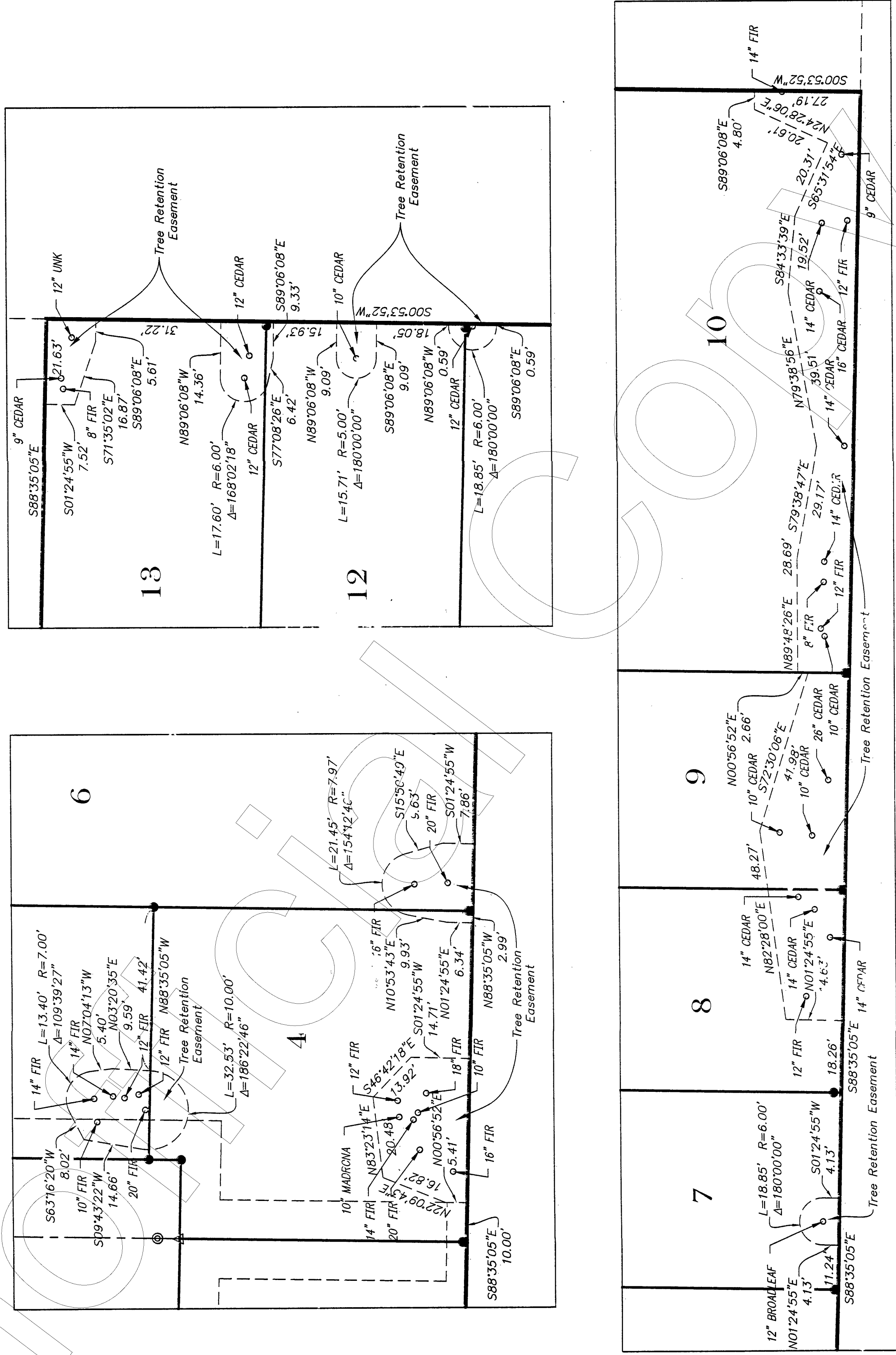
7-22-2016

201611170038 84/115

HALDEN GLEN

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Tree Retention Easements



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GRAPHIC SCALE



NORTH: per NAD 83 1991

9-22-2016

Sheet 5 of 5

201611170058 34/116