

HAUGEN DEVELOPMENT SHORT PLAT

A Portion Of Government Lot 2, In The Northeast 1/4 Of The

Southwest 1/4 Of Section 23, Township 26 North, Range 1

East, W.M., In Kitsap County, Washington

Declaration

We the undersigned holders of fee simple land as described below, declare this Short Plat Plan to be the graphical representation and that said Short Plat Plan are made with the free consent and in accordance with the desire of these owners.

Phedra Elliott

Matthew Elliott

Legal Description

Lot A City of Poulsbo Short Plat No. P-88, recorded under Auditor's File Nos. 200310160028/0029, in Volume 17 of Short Plats, Pages 235-238. Being a portion of Government Lot 2, in the Northeast Quarter of the Southwest Quarter, Section 23, Township 26 North, Range 1 East, W.M., in Kitsap County, Washington. Together with Easements as depicted on the Short Plat.

Dedication

Know all persons by these presents that the undersigned owner(s) in fee simple of the land hereby platted, hereby declares this plat and establishes all easements depicted on the subject property herein for the uses of the lot owners and utility purveyors as indicated hereon. Dimensions and uses of all lots, tracts or parcels of land embraced in this plat are subject to and shall be in conformance with the City of Poulsbo Zoning Ordinance. The owners hereof, their successors and assigns, hereby waive all claims for damage against any government authority arising from the construction and/or maintenance of public facilities and public property within the development.

Upon recording of this plat the following Easements will be dedicated as follows, a 5 foot easement is granted to 232601-3-001-2001 burdening Lot A for maintenance of existing wall as depicted hereon, a 15 foot Stormwater easement is granted to the City of Poulsbo burdening Lots A and B, benefiting all Lots in this plat as depicted hereon. A 10 foot Stormwater easement for maintenance burdening Lots B and C, benefiting all Lots as depicted hereon.

Upon recording of this plat, a 10 feet wide utility easement is hereby reserved for the benefit of all local utility purveyors serving this plat, including, but not limited to, Puget Sound Energy, Comcast, Century Link, Cascade Natural Gas Corporation, Kitsap Public Utilities District and other utility companies having franchises or permits from the City of Poulsbo, and their respective successors and assigns, under and upon the front ten feet parallel with and adjoining the street frontage of all lots and tracts, in which to install, lay, construct, renew, operate and maintain underground pipe, conduit, cables and wires with the necessary facilities and other equipment for the purpose of serving this subdivision and other property with electricity, telephone, gas, storm drainage, sanitary sewer, irrigation and utility service together with the right to enter upon the easement at all times for the purpose herein stated. These easements entered upon for these purposes shall be restored as near as possible to their original condition. These easements are provided to benefit the above mentioned utility providers.

No utility lines or wires shall be placed or permitted to be placed on any lot unless the same be underground or in a conduit attached to a building.

In witness whereof I have set my hand and seal this 15th day of June, 2023.

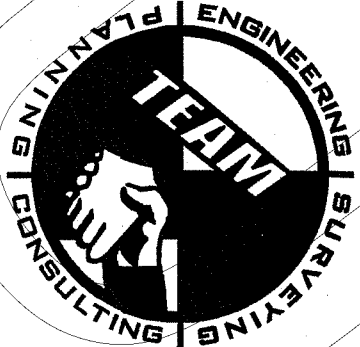
Phedra Elliott

Phedra Elliott

Matthew Elliott

Team4 Engineering

5819 NE Minder Road
Poulsbo, WA 98370
phone: 360 297-5560
fax: 360 297-7951



Acknowledgments

State of Washington)
County of Kitsap) \$

On this 15th day of June, 2023, before me, the undersigned, a Notary Public in and for the State of Washington, duly commissioned and sworn, personally appeared Phedra Elliott, to me known to be the individual that executed the foregoing instrument, and acknowledged said instrument to be her free and voluntary act and deed for the uses and purposes therein mentioned.

Witness my hand and official seal hereto affixed the day and year first above written.

Date: June 15, 2023

Phedra Elliott
Notary Public in and for the State of Washington

My Commission Expires: 05/19/2025

State of Washington)
County of Kitsap) \$

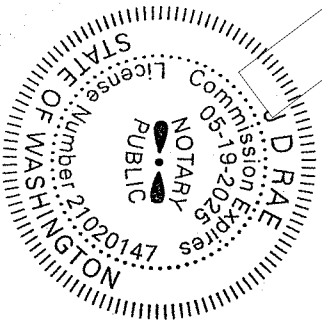
On this 15th day of June, 2023, before me, the undersigned, a Notary Public in and for the State of Washington, duly commissioned and sworn, personally appeared Matthew Elliott, to me known to be the individual that executed the foregoing instrument, and acknowledged said instrument to be his free and voluntary act and deed for the uses and purposes therein mentioned.

Witness my hand and official seal hereto affixed the day and year first above written.

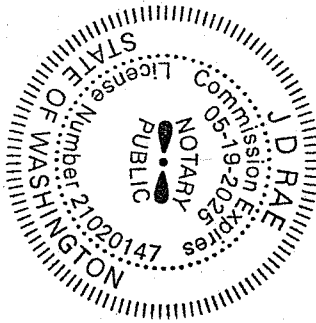
Date: June 15, 2023

Matthew Elliott
Notary Public in and for the State of Washington

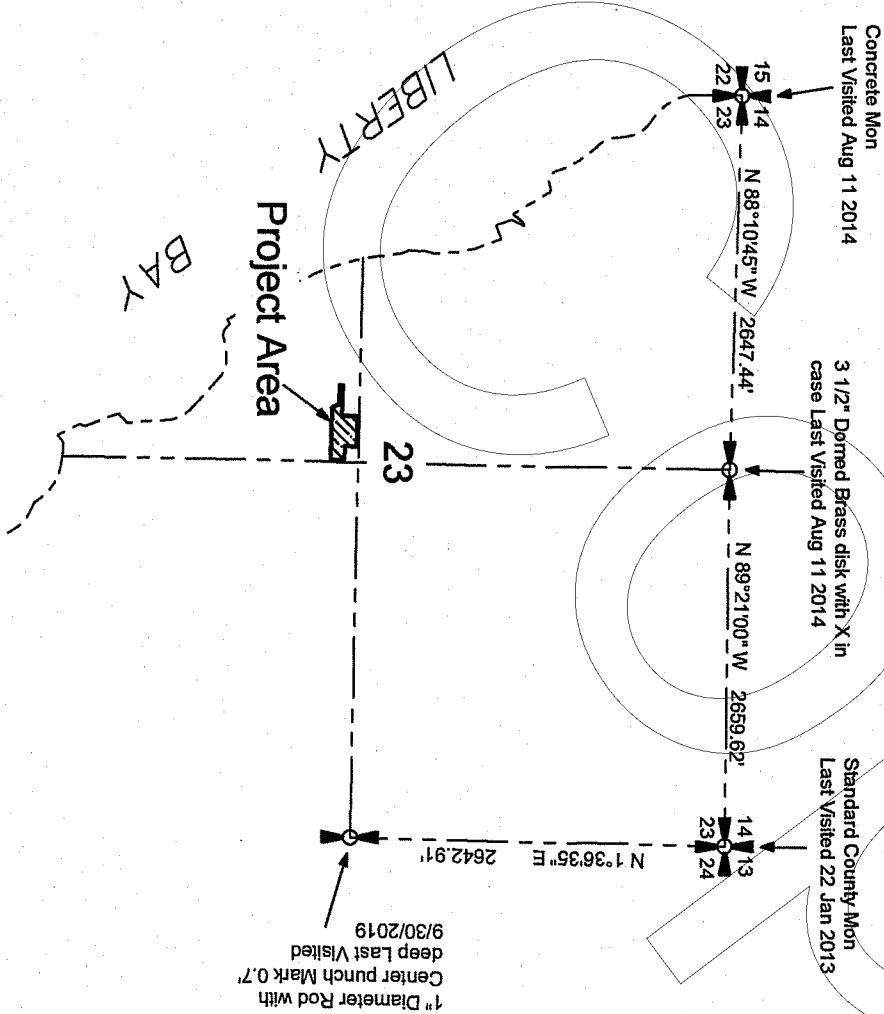
My Commission Expires: 05/19/2025



See page 2 for conditions of approval



Indexing Vicinity Map
Section 23, Township 26 North, Range 1
East, W.M., Kitsap County, Washington
Not to Scale



Schedule B Exceptions

- Covenants, conditions, restrictions, easements and matters delineated, described and noted, if any, in Short Plat recorded on October 16, 2003 under Auditor's File Nos.: 200310160028 and 200310160029.
- Local improvement assessments, and/or special assessment, if any, levied by the City of Poulsbo. Investigation should be made with the city for amounts due or past due, if any.
- Note: A survey of the herein described property was recorded under Kitsap County Auditor's File No. 9512050169.

Survey Instrumentation & Methodology

This survey employed the use of a Carlson BRX 6 dual-frequency receiver/antenna linked to the SmartNet RTN and a Leica TPS 1200 or Carlson CR2+ robotic total station measuring closed traverses with multiple observations per control traverse point. Conforming to the current standards contained in W.A.C. 332-130-090

Notice

Responsibility and expense for maintenance of streets serving lots within this project (unless such roads have been accepted by the City of Poulsbo) shall rest with the lot owners. No lot within this short subdivision may be further divided in any manner within five (5) years of the filing of such short subdivision, provided such division is permitted through a subdivision as authorized by RCW 58.17.060.

Planning Director's Approval

Approved for recording pursuant to City of Poulsbo Code 17.40

Matthew Elliott
Director of Planning and Economic Development
Date: June 21, 2023

City Engineer's Approval

Examined and Approved this 25th day of June, 2023.

Matthew Elliott
City Engineer

Treasurer's Certificate

I hereby certify that real property taxes are current for the property shown hereon to:

Date: June 23, 2023

Peter J. Boissoneau
Kitsap County Treasurer

Surveyor's Certificate

I, Kevin J. Biggs, registered as a professional land surveyor by the State of Washington, certify that this Short Subdivision is based on an actual survey of the land described herein, conducted by me or under my direction, in conformance with the requirements of the Survey Recording Act, at the request of Phedra and Matthew Elliott during the period of AUGUST 2019 through OCTOBER, 2022, that the distances, courses and angles are shown correctly hereon, and that the lot corners have been staked on the ground as depicted hereon.



Auditor's Certificate

File for record this 23rd day of June, 2023, at the request of City of Poulsbo in Volume 24 of Short Plats on Pages(s) 168-171
Auditor's File No. 202306230031

P. Andrews
Kitsap County Auditor

City of Poulsbo

Kitsap County, Washington

Short Subdivision No. P-07-13-20-01

Name of Applicant:

Phedra and Matthew Elliott

S.R.A. Filing Data

NE 1/4, SW 1/4, SEC. 23, TWP. 26 N., R. 1 E., W.M., Assessor's Parcel No. 232601-3-103-2008

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2023 06230031 v.24 P.168

Haugen Development Short Plat
A Portion Of Government Lot 2, In The Northeast 1/4 Of The
Southwest 1/4 Of Section 23, Township 26 North, Range 1
East, W.M., In Kitsap County, Washington

Conditions of Approval per Planning File P-07-13-20-01

P5. Land in short subdivision may not be further divided in any manner within a period of five years without the filing of a final subdivision.

P7. Grading shall not be used to artificially raise building pads. Grading of building pads shall be limited to that necessary to bring the pad to street level and as needed for storm drainage away from structure. This will be confirmed prior to foundation inspection approval.

P8. Setbacks, lot coverage, and building height are confirmed at the time of building permit review.

P9. The construction of all single-family homes in the proposed development shall substantially conform to the conceptual architectural drawings and building elevations which depict 1 1/2 to 2 story elevations. This condition shall bind the applicant and any subsequent developers or assignees of the project. Comparison of the architectural drawings and house placement will occur at building permit submittal.

P10. The planning director will review submitted building permits for compliance with Infill Residential Development code, approved conceptual building drawings, and any applicable conditions of approval.

a. Building permit information shall include the quantity in cubic yards of earth anticipated to be moved for home construction. Quantity shall identify the largest volume of material moved as either cut, fill, import, or export, regardless of whether the material is imported, exported, remains on-site (balanced), or is a combination thereof.

b. Future homes of Lots B-D will be oriented to (face) Haugen Street.

c. Future homes of Lots B-D will have a minimum front setback of 18.25' as measured from the north property line. The garage shall not be located less than 18.25' from the north property line.

d. Building elevation drawings including anticipated finished grade and details are required with building permit submittal.

e. Front facade height and building setback dimensions shall be identified on building permit elevation drawings for review under infill residential standards.

f. Building setback shall be based on 20.6 feet, the block face average front facade height.

i. If the infill residences proposed are to be taller by 5-9 feet in height than the average height of the existing residences on the block face, the infill residences shall step back the upper floor(s) a minimum of 5 feet as a way to maintain compatible scale.

ii. When the proposed infill residence's height is 10 feet or higher than the average height of the existing residences on the block face, the upper floor shall step back a minimum of 8 feet.

g. Building design shall incorporate applicant identified home design: a mix of Traditional Cottage, Bungalow (which includes Craftsman style) and Farmhouse style residence.

h. The new infill residences shall provide three or more design elements: window openings, roof lines, porches, exterior finishes, and different garage locations.

i. Building design shall incorporate design elements substantially similar to home design elements identified in Exhibit B.3.

j. Building height is required to be measured in the field by state licensed surveyor when facade height, setback, or building height are within one foot (1') of the maximum allowed, and the cost borne by the property owner/developer. Front facade height shall be measured from finished grade.

E12. Ownership and maintenance of Stormwater systems serving short plats will remain the responsibility of the Lot owners being served. Tracts or easements shall be clearly described on the face of the plat. Specifically,

responsibilities and cost reimbursements for routine maintenance, record keeping and repairs will remain with the responsibility of the Lot owners.

E15. Service connection to the City sewer and water system shall be the responsibility of the property owner and shall comply with state and local design and development standards.

E16. Water mains that are not within public right-of-ways, easements for access and maintenance of the water main within the plat shall be legally described and dedicated to the City on the Short Plat drawings. For mains located in private roads/driveways, the easement width shall be the roadway width. For portions of the main outside of the roadway, the easement shall be fifteen feet (15') wide and include an all-weather surface conforming to City standards. Ownership of the pipe and appurtenances shall be conveyed to the City on the Short Plat drawings. Easements shall be shown on the construction drawings, "as-built" drawings, and Short Plat drawings.

E17. All water systems shall be publicly owned up to and through the water meter. For fire mains, the City shall own up to the Post Indicator Valve. All water mains and fire hydrants shall be located in public right-of-way or easements granted to the City of Poulsbo. Dedicated water lines shall be centered in an easement a minimum of 15 feet in width. Hydrants must be centered in a 10 foot radius easement.

E21. All water mains and all primary sanitary sewer and storm drainage mains shall be within public right-of-way or within easements dedicated to the City which meet the City's criteria for dimensions and access. All water, sewer, and storm service laterals and all secondary sanitary sewer and storm drainage lines located within easements or private property shall remain privately owned and maintained by the Homeowner's Association or applicable lot owners.

E22. All easements which contain City-owned and maintained utilities shall be a minimum of 15 feet wide and be accessible to City equipment and crews with an all-weather access road. (Refer to Section 1 Construction Standards for detailed requirements)

E23. All utilities shall be placed underground.

E30. Utility systems include, but are not limited to, distribution and collection mains, pumping facilities, storage reservoirs, detention/retention facilities or any improvements to be dedicated to the city under a deed of conveyance.

E31. Solid waste service for this project will be provided by the City of Poulsbo.

E32. Trash cans shall be placed curbside on Haugen St for collection.

E33. No walls or structures are permitted in utility easements unless approved by the City Engineer.

E34. Placement of landscape plantings and/or street trees shall not interfere with utilities.

E35. Utility service for the noted property is subject to application and payment of the applicable fees and assessments. Utility connection fees and assessment charges will be determined at the time of building permit.

E36. A Public Property Construction Permit is required when connecting to City-owned utilities or performing other work within the City right-of-way or other public/City-owned property (PMC 12.08). The permittee shall be responsible for repair and/or restoration of any damage to City property (such as sidewalks, curbs, gutters, pavement, and utilities) that occurs as a result of his operations under this permit.

E37. Any agreements made between the applicant and another property owner related to utilities, easements, right-of-ways, or ingress and egress shall not be in conflict with City codes or ordinances. No agreements between the applicant and the property owner shall exempt either party from obtaining proper City approval for land use activities regulated under the Poulsbo Municipal Code.

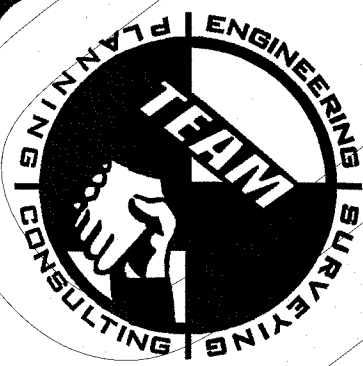
E38. The applicant shall be responsible for obtaining all required easements and rights-of-way. Copies of all recorded easements shall be provided to the City Engineer.

Surveyor Notes

1. Zoning setback, setback, design and height identified in conditions of approval.
2. Setbacks not depicted due to variable nature.
3. The entire project area is encompassed by Critical Aquifer

Team4 Engineering

5819 NE Minder Road
Poulsbo, WA 98370
phone: 360 297-5560
fax: 360 297-7951



6/19/23

City of Poulsbo

Kitsap County, Washington

Short Subdivision No. P-07-13-20-01

Name of Applicant:

Phedra and Matthew Elliott

S.R.A. Filing Data

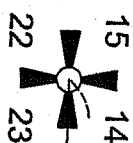
NE 1/4, SW 1/4, SEC. 23, TWP. 26 N., R. 1 E., W.M.
Assessor's Parcel No. 232601-3-103-2008

Job No. 1256 Page 2 of 4

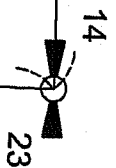
202306230031 V.24, P.169

Haugen Development Short Plat

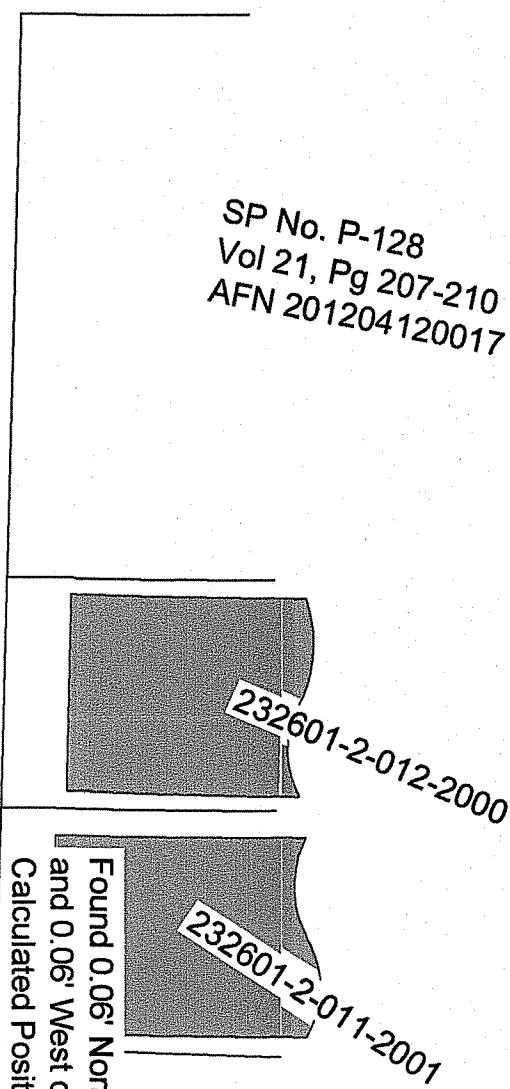
A Portion Of Government Lot 2, In The Northeast 1/4 Of The Southwest 1/4 Of Section 23, Township 26 North, Range 1 East, W.M., In Kitsap County, Washington



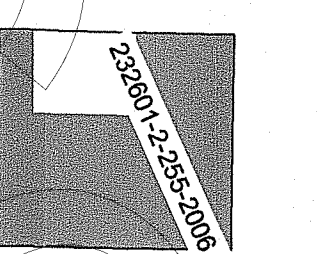
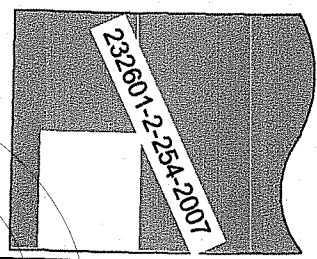
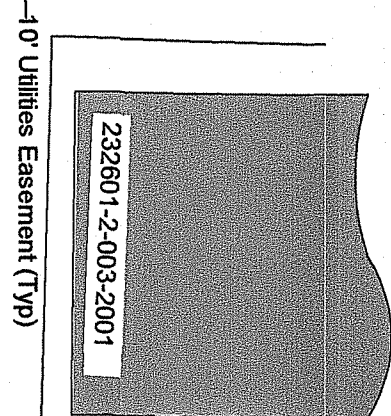
N 88°10'45" W 2647.44'



SP No. P-128
Vol 21, Pg 207-210
AFN 201204120017



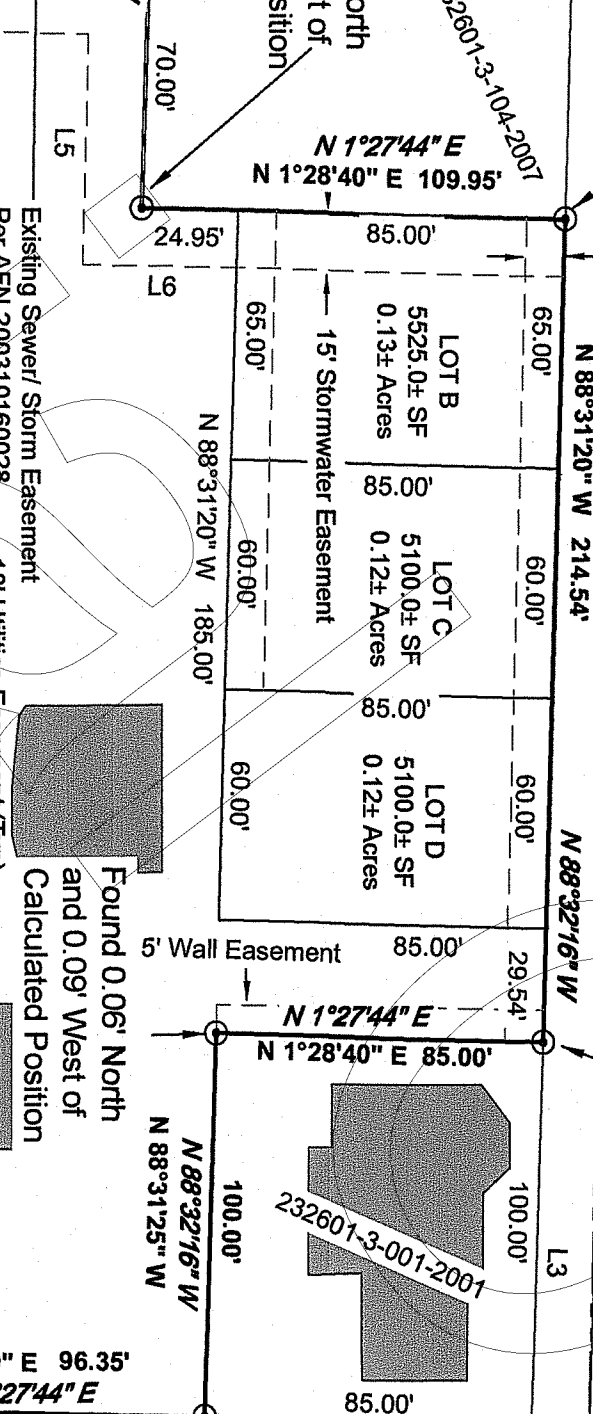
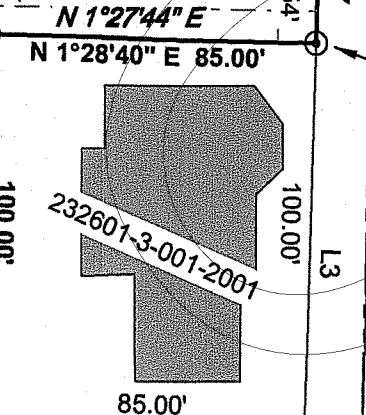
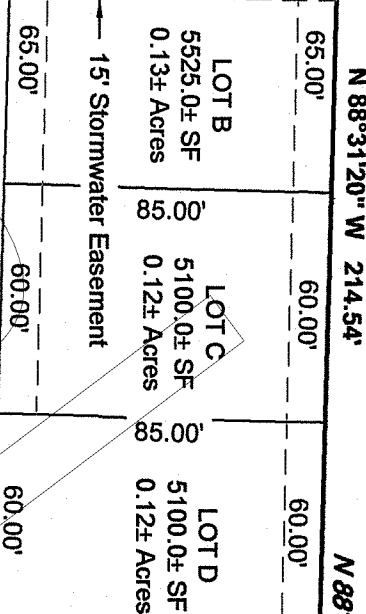
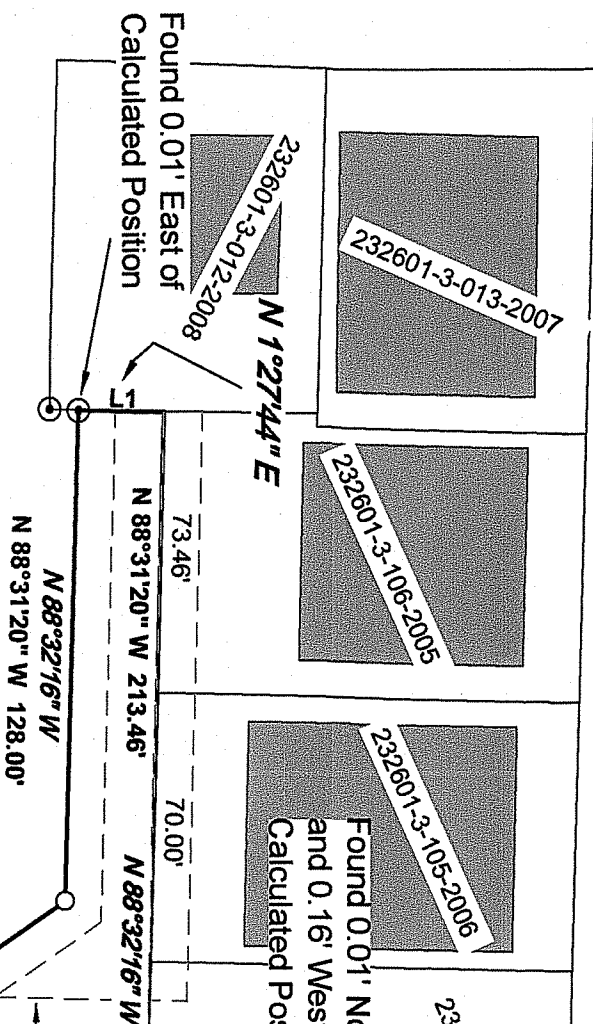
Torgeson Ave NE



N 1°19'27" E 2632.97'

232601-1-104-2001

NE Haugen St



Found 0.06' North and 0.09' West of Calculated Position

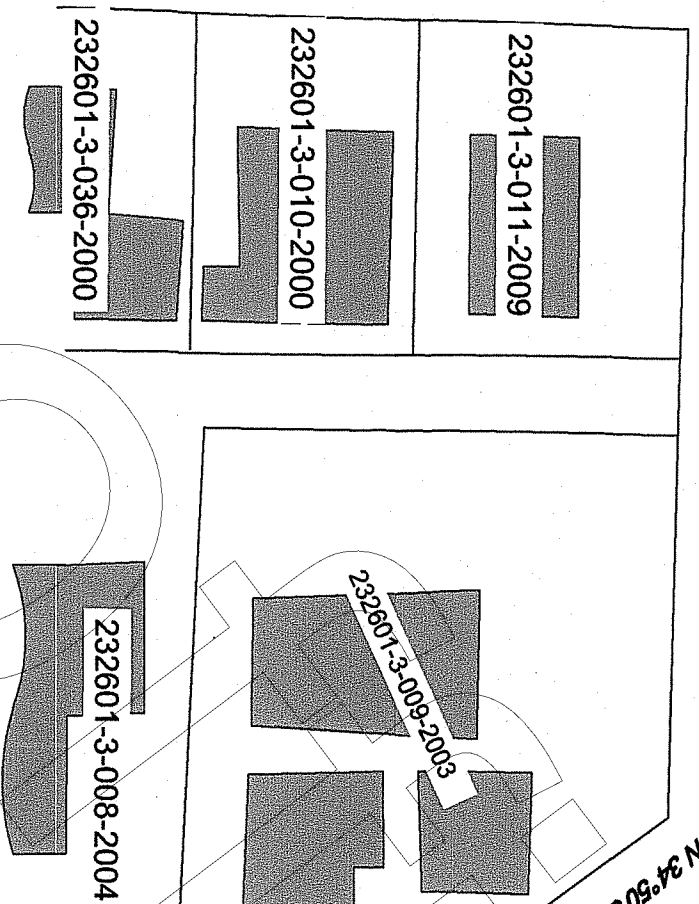
N 1°28'40" E 96.35'
N 1°27'44" E

Section Subdivision Line

232601-4-038-2006
232601-4-037-2007

232601-4-069-2008

232601-4-070-2005



Found 0.01' East of Calculated Position

Found 0.01' South and 0.09' West of Calculated Position

Found 0.22' North and 0.07' West of Calculated Position

Found 0.02' North and 0.11' West of Calculated Position

Found 0.01' North and 0.16' West of Calculated Position

Found 0.01' East of Calculated Position

Found 0.01' North and 0.16' West of Calculated Position

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Wash. Grid Sys. North Zone (NAD83)

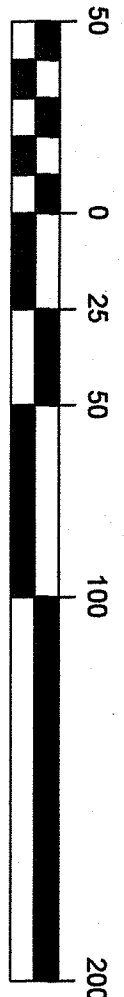
Legend

- REBAR SET
- IP FOUND
- Easement
- Project Boundary
- Section Subdivision Line
- Edge of Concrete
- Adjacent Property Line
- Existing Building
- Sidewalk
- Dirt/Gravel

Italicized bearing and distance hereon are per deeds of record. All others are per the meridian and measurements of this survey.

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LINE	BEARING	DISTANCE
L1	N 1°28'40" E	22.40'
L2	N 34°49'36" W	60.80'
L3	N 88°31'20" W	113.41'
L4	N 1°33'33" E	56.40'
L5	N 88°31'20" W	60.08'
L6	N 1°28'40" E	124.95'



City of Poulsbo

Kitsap County, Washington

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Phedra and Matthew Elliott

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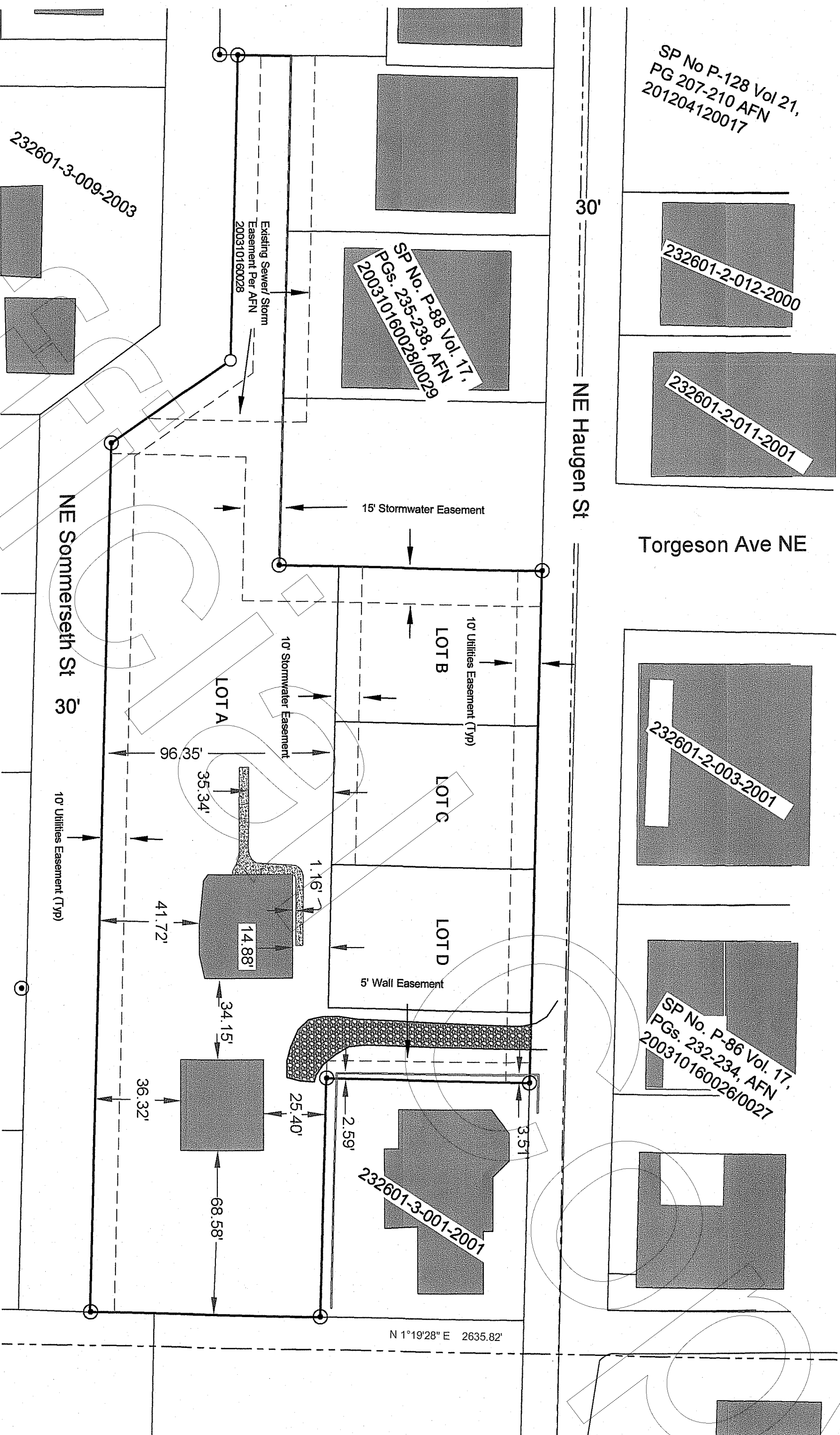
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Assessor's Parcel No. 232601-3-103-2008

Job No. 1256 Page 3 of 4

2023 06 23 0031 W. 24. R. 116

HAUGEN DEVELOPMENT SHORT PLAT

A portion of Government Lot 2, in the Northeast 1/4 of the Southwest 1/4 of Section 23, Township 26 North, Range 1 East, W.M., in Kitsap County, Washington



SP No P-128 Vol 21,
PG 207-210 AFN
201204120017

232601-2-012-2000

232601-2-011-2001

Torgeson Ave NE

232601-2-003-2001

SP No. P-86 Vol. 17,
PGs. 232-234, AFN
2003101600260027

232601-3-001-2001

N 1°19'28" E 2635.82'

Legend

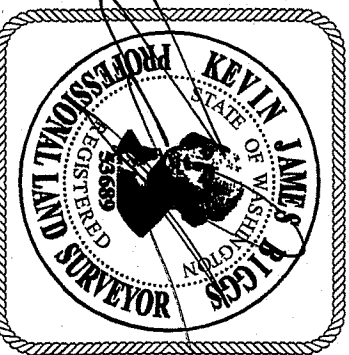
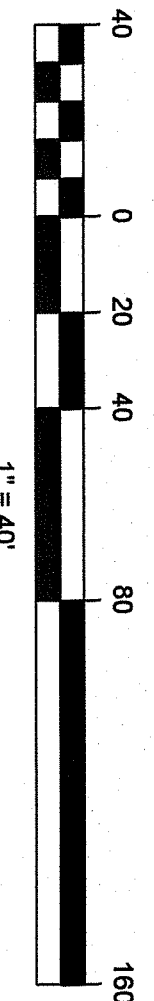
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Wash. Grid Sys. North Zone (NAD83)

IMPERVIOUS SURFACES
LOTS B-C = 2,346 SF X 2 = 4,692 SF
LOT D = 2,392 SF
LOT A = 18,812 SF
TOTAL = 25,896 SF = 0.60 AC
ALLOWABLE PER 6TH STREET BASIN ANALYSIS =
1.30 AC X 0.46 = 0.60 AC



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6/14/23

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