

### Dedication

Know all persons by these presents, that the undersigned owners in fee simple of the land being platted hereby declare this land platted and dedicate to the use of the public forever those portions of the rights of way for Fjord Drive NE (including any portion thereof that may have been previously dedicated or granted) shown on the face of the plat and use thereof for any and all public purposes. We reserve the right to make all necessary slopes for cuts and fills upon the lots shown on this plat in the reasonable original grading of all of the roads and easements shown hereon and the right to drain roads, and easements over and across any lot or lots where water might take a natural drainage course after the roads and easements are graded. We further dedicate and convey ownership of the 8" diameter water main and associated appurtenances running through the plat to the City of Poulsbo.

Dimensions and use of all lots embraced in this plat are subject to and shall be in conformity with the City of Poulsbo zoning regulations. The owners hereof and their successors and assigns hereby waive all claims for damages against any governmental authority from construction and maintenance of public facilities and public property within this plat.

Upon recording of this plat, ownership of Open Space Tract A is hereby granted and conveyed to the Whitford Strand Cottages Homeowner's Association.

### Easement Provisions

Easements shown on Sheet 4 are over, under and across the areas shown for the purposes stated. Access and utilities easements refer to easements for ingress and egress and the construction, maintenance and repair of aboveground and underground utilities and their appurtenances. Utilities easements refer to easements for the construction, maintenance and repair of aboveground and underground utilities and their appurtenances. Waterline easements are for the construction, maintenance and repair of aboveground and underground water utilities and their appurtenances. Public pedestrian easements refer to easements for public pedestrian access.

The access and utilities easement on the Northwestern portion of Lot 4 benefits Lots 4 and 5. The access and utilities easement on the common Lot line of Lots 2 and 3 benefits Lots 2 and 3. The 17.5' utilities easement along Fjord Drive benefits all Lots and the City of Poulsbo. The 10' Waterline easement running through the plat benefits the City of Poulsbo. The 10' utilities easement in the Southern portion of Lot 6 and along the common lot line of Lots 2 and 3 benefit Lots 6 and 7. The 10' utilities easement over the Southern portion of Lot 7 benefits Lot 6. The hammerhead turnaround access easement on the Southern portion of Lot 7 benefits Lot 6 and emergency vehicles for a turnaround. The utilities easement on the Northern portion of Lot 7 benefits all the Lots. The public pedestrian sidewalk easement along Fjord Drive NE is hereby dedicated to the City of Poulsbo for public pedestrian use. All sanitary sewers, storm sewers and appurtenances installed inside the plat will be privately owned and maintained.

For more details about use and maintenance of the above described easements refer to the Declaration of Covenants, Conditions and Restrictions (CCR'S) recorded with this plat.

In witness whereof we have hereunto set our hands and seals:

Central Highlands Inc.

By:

David Smith, Manager

### Acknowledgment

State of Washington  
County of Kitsap

I certify that I know or have satisfactory evidence that David Smith is the person who appeared before me, and said person acknowledged that he signed this instrument, on oath stated that he was authorized to execute the instrument and acknowledged it as the Manager of Central Highlands Inc., to be the free and voluntary act of such party for the uses and purposes mentioned in the instrument.

Dated: 2/8/2018

Notary Public in and for the State of Washington  
My appointment expires 07/01/2018

Kati B Diehl  
Notary Public  
State of Washington  
Appointment Exp. 07/01/18

### Surveyors Certificate

I, Gavin M. Oak, registered as a land surveyor by the State of Washington, certify that this plat is based on an actual survey of the land described herein, conducted by me, or under my supervision, during the period of May, 2013 through February, 2018, that the distances, courses, and angles are shown correctly, and that monuments have been set and lot corners staked on the ground as depicted on the plat.

Gavin M. Oak, P.L.S.  
Registered Land Surveyor  
Certificate No. 45168

### Covenants

This plat is subject to all elements of the Declaration of Covenants, Conditions and Restrictions (CCR'S) for Whitford Strand Cottages recorded under Kitsap County Auditor's File No. 201803010176

## Plat of Whitford Strand Cottages

Government Lot 2 (NW 1/4 NE 1/4)

Sec.26, T.26N., R.1E., W.M.

City of Poulsbo, Kitsap County, Washington

### Approvals

#### City Engineer

Approved by the City Engineer this 22<sup>ND</sup> day of FEBRUARY, 2018.

Diane Lenius

Diane Lenius, P.E.

City Engineer, City of Poulsbo

#### City Planning Commission

Approved by the Chairman of the Planning Commission this 13 day of

FEBRUARY, 2018.

Chairman of the Planning Commission

City of Poulsbo

#### City Council

Approved by the City Council of Poulsbo this 12<sup>TH</sup> day of FEBRUARY, 2018.

Becky Erickson  
Mayor, City of Poulsbo

#### Treasurer's Certificate

I, Meridith Green, Treasurer of Kitsap County, Washington, hereby certify that all taxes on the above described property are fully paid up to and including 2018

Meridith R Green  
Kitsap County Treasurer

#### Recording Certificate

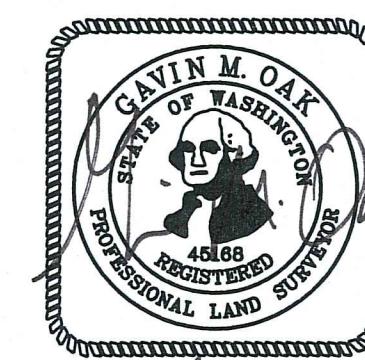
Filed for record at the request of the City of Poulsbo on this 1<sup>ST</sup> day of March, 2018, recorded in Volume 34 of plats, Pages 222-225 records of Kitsap County, Washington.

Dolores Gilmore

Dolores Gilmore  
Kitsap County Auditor

Attest:

Deputy



ADAM • GOLDSWORTHY • OAK

A G O LAND SURVEYING, LLC

1015 NE HOSTMARK ST. (360)779-4299  
POULSBO, WA 98370 (206)842-9598

DATE 1/31/18  
DRAWING 5405P1

FIELD BOOK 1458  
SHEET 1/4

201803010177 34/222



**Plat of Whitford Strand Cottages**  
**Government Lot 2 (NW 1/4 NE 1/4)**  
**Sec.26, T.26N., R.1E., W.M.**  
City of Poulsbo, Kitsap County, Washington

Applicant: Central Highland Builders P.O. Box 2879 Poulsbo, WA 98370 360-779-7157
Current use: Residential
Proposed water service: City of Poulsbo
Proposed sewer service: City of Poulsbo
Assessor's Account No. 262601-1-024-2005
Zoning: Residential Low (RL)

**Legal Description**

Parcel I:  
That portion of Government Lot 2, Section 26, Township 26 North, Range 1 East, W.M., City of Poulsbo, Kitsap County, Washington, described as follows:  
Beginning at a point 1310 1/2 feet West of the Northeast corner of said Section 26; thence running West along the North line of said Section to the Meander Line of Liberty Bay;  
Thence Southeast along the Meander Line, 731 1/2 feet, more or less, to a point South 18 1/2° West of the Point of Beginning;  
Thence North 18 1/2° East to the Point of Beginning.  
Except Fjord Drive NE;  
Together with that portion of Tract 20, Poulsbo Tidelands adjoining.

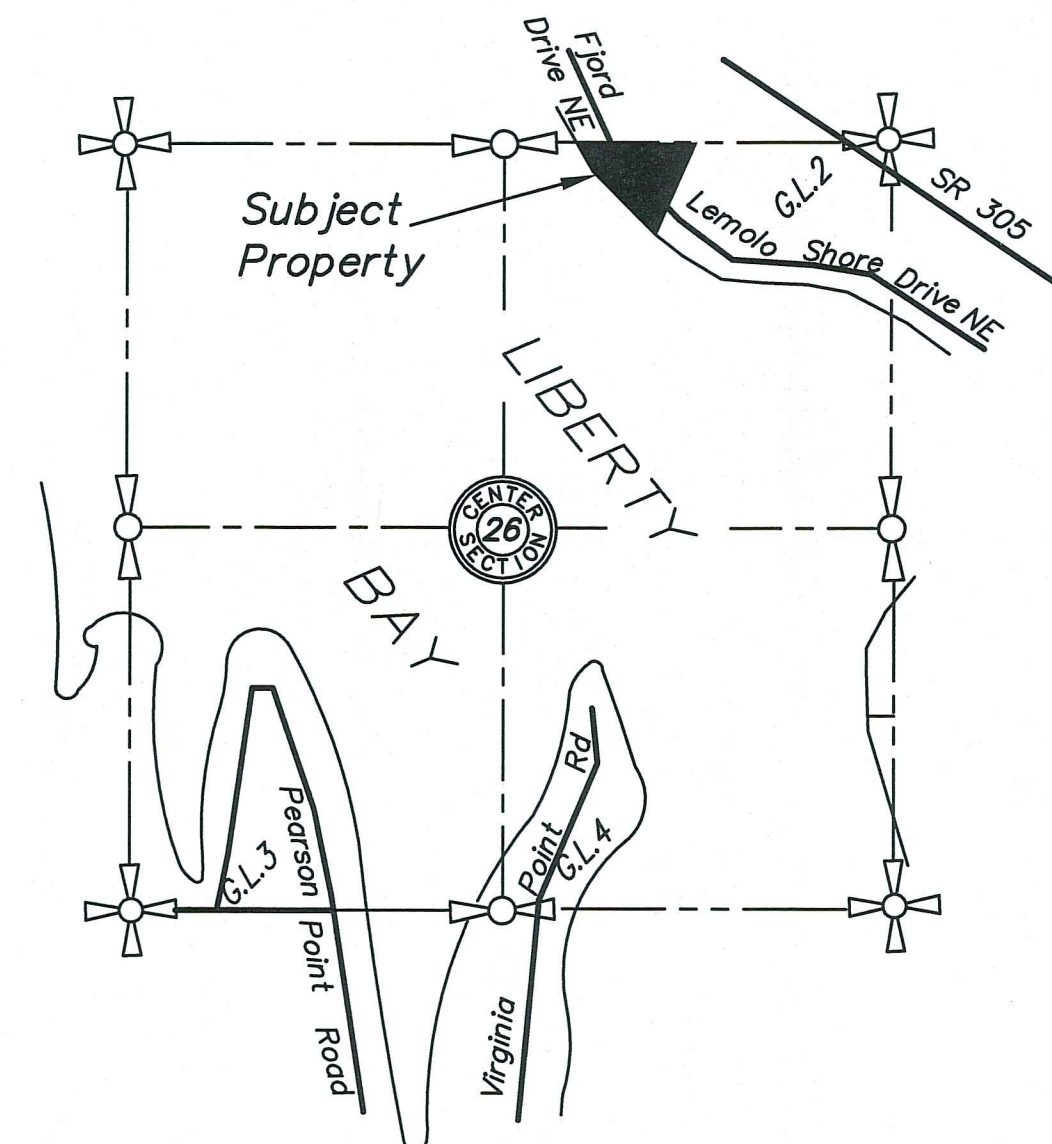
Parcel II:  
An easement for assess and utilities as described in document recorded under Auditor's File No. 1024027

**National Flood Insurance  
Program Designation**

Lots 1-7: Zone X  
Open Space Tract A: Zone AE and X  
Flood Insurance Rate Map 53035C0207D  
Effective Date: December 18, 2007

**Notes**

- 1) This survey was accomplished by field traverse with a three second total station.
- 2) This survey conforms to the minimum field traverse standards for land boundary surveys as listed in WAC 332-130-090.
- 3) This property is subject to an Easement for road ingress and egress and utility purposes recorded under Kitsap County Auditor's File Nos. 1024026 and 1024027.
- 4) This property is subject to a Deed of Conservation Easement recorded under Kitsap County Auditor's File No. 201507310194.
- 5) This property is subject to a Mutual Easement Agreement recorded under Kitsap County Auditor's File No. 201608090165.
- 6) This property is subject to a Puget Sound Energy Easement recorded under Kitsap County Auditor's File No. 201709140177.



INDEXING VICINITY MAP  
SEC.26, T.26N., R.1E., W.M.

**Condition:**

The four trees on Lot 6 are required to be retained unless otherwise allowed by the City of Poulsbo.



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A G O LAND SURVEYING, LLC

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DATE 1/29/18  
DRAWING 5405P2

FIELD BOOK 1458  
SHEET 2 / 4

201803010177 34/223



**Plat of Whitford Strand Cottages**  
**Government Lot 2 (NW 1/4 NE 1/4)**  
**Sec.26, T.26N., R.1E., W.M.**  
 City of Poulsbo, Kitsap County, Washington

Meander Corner  
 Found 1" iron  
 pipe in concrete  
 (December, 2008)

Set 2" brass disk  
 in a 2" iron pipe  
 filled with concrete

Right of way  
 dedication  
 (hatched)

City of Poulsbo Short Plat P-91  
 Auditor's File No. 200503070116

Set 2" brass disk  
 surface monument  
 in concrete.

City of Poulsbo Short Plat P-46  
 Auditor's File No. 9006110108

Found axle  
 (April, 1991)

Found concrete  
 monument with  
 shell casing  
 (June, 1993)

Set 2" brass disk  
 in a 2" iron pipe  
 filled with concrete

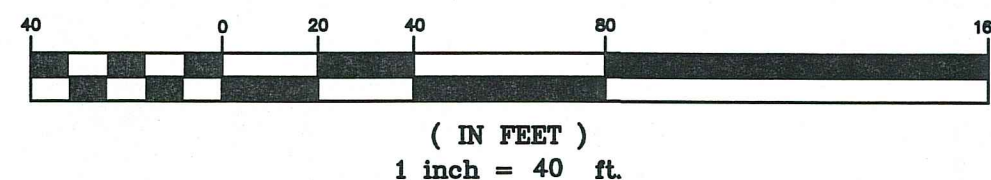
Together with that portion  
 Tract 20, Poulsbo Tideland, adjoining  
 (Tidelands will be a part  
 of Open Space Tract A)

Areas		
Total area East of Fjord Drive NE	63,778 sq. ft.	1.46 Acres
Total area West of Fjord Drive NE to the ordinary high water mark	19,338 sq. ft.±	0.44 Acres ±
Lot 1	7,822 sq. ft.	0.18 Acres
Lot 2 East of Fjord Drive NE	6,900 sq. ft.	0.16 Acres
Lot 2 West of Fjord Drive NE	620 sq. ft.	0.01 Acres
Total	7,520 sq. ft.	0.17 Acres
Lot 3 East of Fjord Drive NE	6,972 sq. ft.	0.16 Acres
Lot 3 West of Fjord Drive NE	611 sq. ft.	0.01 Acres
Total	7,583 sq. ft.	0.17 Acres
Lot 4	9,036 sq. ft.	0.21 Acres
Lot 5	9,584 sq. ft.	0.25 Acres
Lot 6	10,515 sq. ft.	0.24 Acres
Lot 7	9,741 sq. ft.	0.22 Acres
Open Space Tract A to OHWM	16,978 sq. ft.±	0.39 Acres±
Right of Way dedication	4,337 sq. ft.	0.10 Acres

CURVE TABLE			
CURVE	LENGTH	RADIUS	DELTA ANGLE
C1	61.09'	924.93'	03°47'04"
C2	62.02'	924.93'	03°50'30"
C3	62.06'	914.93'	03°53'12"
C4	61.12'	914.93'	03°49'39"
C5	51.72'	924.93'	03°12'13"
C6	78.66'	984.93'	4°34'33"
C7	108.52'	984.93'	6°18'47"

LINE TABLE		
LINE	LENGTH	BEARING
L1	10.12'	N 32°12'30" E
L2	10.25'	S 32°12'30" W
L3	10.44'	N 32°12'30" E
L4	50.07'	S 54°03'45" E
L5	15.34'	S 51°15'25" E
L6	10.73'	S 43°08'23" E
L7	71.66'	S 31°49'01" E

GRAPHIC SCALE

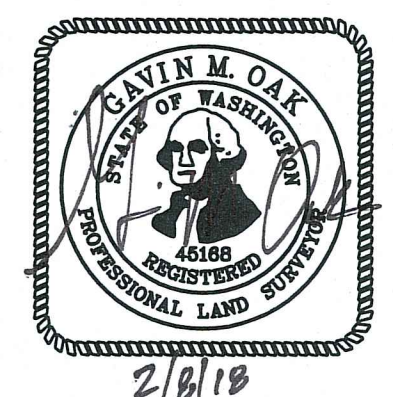


**Legend**

- = Right of way dedication area
- = Set 3/4" iron pipe and lot stake
- = Found 3/4" iron pipe (L.S. 36791)
- = Found or set monument as noted

**Notes:**

1. Building setbacks will be determined at the time of building permit and based on the zoning code requirements of the City of Poulsbo at that time.
2. Refer to Sheet 4 for easement details



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 A G O LAND SURVEYING, LLC

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DATE 1/31/18  
 DRAWING 5405P3

FIELD BOOK 1448  
 SHEET 3 / 4

201803010177 34/224

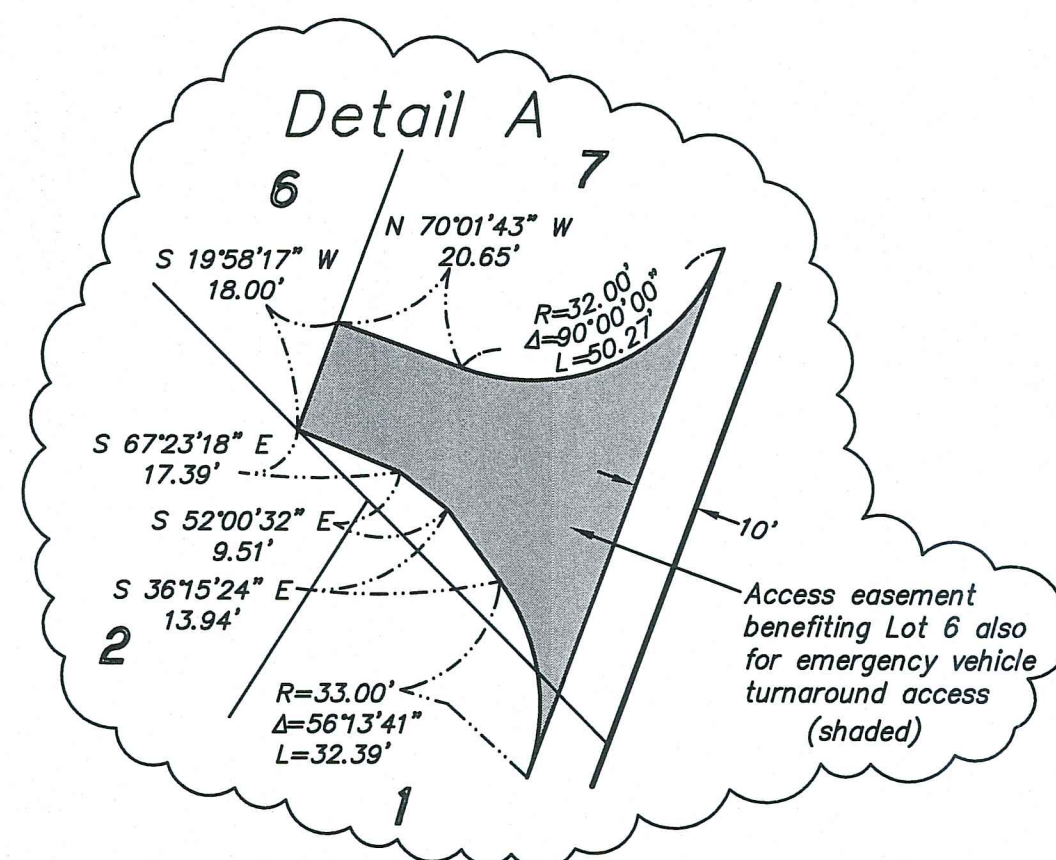


**Plat of Whitford Strand Cottages**  
**Government Lot 2 (NW 1/4 NE 1/4)**  
**Sec.26, T.26N., R.1E., W.M.**  
 City of Poulsbo, Kitsap County, Washington  
**Easement Details**

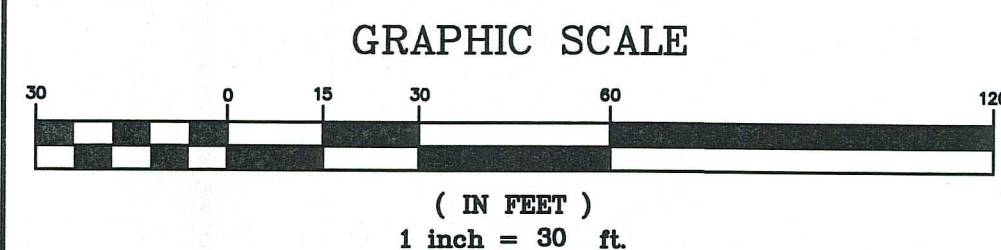
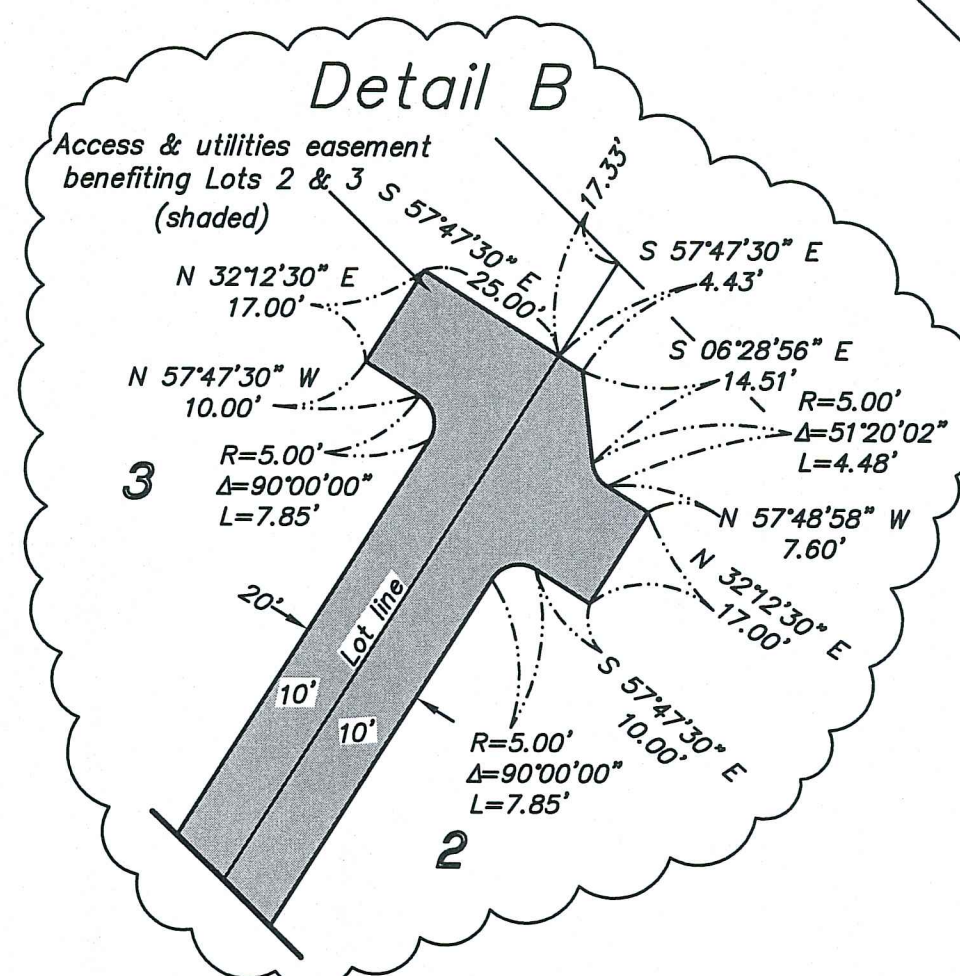
Existing 50' access and  
 utilities easement per  
 Auditor's File Nos.  
 1024026 & 1024027

LINE TABLE		
LINE	LENGTH	BEARING
L1	16.62'	N 51°44'20" E
L2	15.81'	N 41°24'08" E
L3	14.92'	N 48°26'58" W
L4	11.33'	N 60°57'09" W
L5	33.05'	N 87°20'39" W
L6	7.72'	N 44°37'53" W
L7	13.84'	N 09°23'36" W
L8	6.10'	N 00°12'30" E

Scale: 1"=30'  
 Assumed



**Note:**  
 Open Space Tract A and the  
 portions of Lots 2 & 3 lying  
 Southwest of Fjord Drive NE  
 are subject to a Conservation  
 Easement per Kitsap County  
 Auditor's File No. 201507310194.



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DATE 1/31/18 FIELD BOOK 1448  
 DRAWING 5405P4 SHEET 4/4

201803010177 34/225