

ALASUND MEADOWS

Situate in
N.1/2 NW.1/4 SE.1/4 SEC. 13, TWP. 26N., RG. 1E., W.M.

DEDICATION

Know all men by these presents, that the undersigned, hereby declare this land platted and dedicate to the use of the public forever all streets, roads and easements shown on the plat and use thereof for any and all public purposes not inconsistent with the use thereof for public highway purposes, also the right to make all necessary slopes for cuts and fills upon the lots shown on this plat in the reasonable original grading of all the streets and roads shown hereon; also the right to drain all streets, roads and easements over and across any lot or lots where water might take a natural drainage course after the street or streets are graded. Dimension and use of all lots embraced in this plat are subject to and shall be in conformity with the City of Poulsbo Zoning Regulations. The owner hereof, and his successors and assigns, hereby waive all claims for damages against any governmental authority arising from construction and maintenance of public facilities and public property within this plat.

All sanitary sewer, storm sewer and water mains and appurtenances located within public right-of-way or within easements dedicated to the City of Poulsbo are hereby granted and conveyed to the City of Poulsbo.

In witness whereof we have set our hands and seals this 23rd day of April, 2003.

R. Kent Hood
Silverwood Homes, Inc.
by R. Kent Hood, President

L. E. Elendahl
Washington Federal Savings,
A United States Corporation

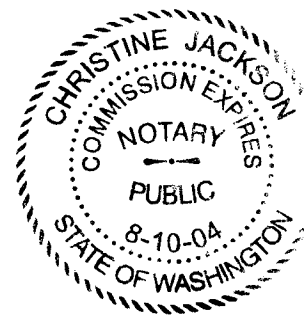
ACKNOWLEDGMENT

State of Washington }
County of Kitsap } SS

On this day personally appeared before me R. Kent Hood to me known to be the president of Silverwood Homes, Inc., the corporation that executed the within and forgoing instrument and acknowledged said instrument to be the free and voluntary act and deed of said corporation for the uses and purposes therein mentioned, and on oath stated that he is authorized to execute said instrument.

Given under my hand and official seal this 23rd day of April, 2003.

Christine Jackson
Notary Public in and for the State of Washington
Residing at Poulsbo



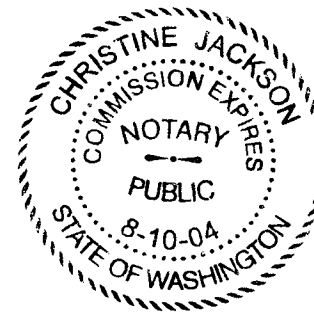
ACKNOWLEDGMENT

State of Washington }
County of Kitsap } SS

On this day personally appeared before me L. E. Elendahl me known to be the Vice President of Washington Federal Savings, the corporation that executed the within and forgoing instrument and acknowledged said instrument to be the free and voluntary act and deed of said corporation for the uses and purposes therein mentioned, and on oath stated that he is authorized to execute said instrument.

Given under my hand and official seal this 23rd day of April, 2003.

Christine Jackson
Notary Public in and for the State of Washington
Residing at Poulsbo



LEGAL DESCRIPTION

PARCEL I

Lot(s) B, C and D of Short Subdivision No. 389R-1, recorded under Auditor's File No. 9410070203, being an amendment of Auditor's File No. 1118839, being a portion of the Northwest quarter of the Southeast quarter, of Section 11, Township 26 North, Range 1 East, W.M., Kitsap County, Washington.

PARCEL II

An Easement for ingress, egress and utilities as described and delineated in Short Subdivision No. 389R-1, recorded under auditor's File No. 9410070203, being an amendment of Auditor's File No. 1118839, being a portion of the Northwest quarter of the Southeast of Section 13, Township 26 North, Range 1 East, W.M., Kitsap County, Washington.

NOTE: The easement as described in Parcel II above is hereby vacated and removed with the recording of this plat.

PROTECTIVE COVENANTS

See Protective Covenants, Conditions, Restrictions and Easements as recorded under Auditor's File No. 20030515004

EASEMENT PROVISIONS

An easement is hereby reserved for and conveyed to PUGET SOUND ENERGY CASCADE NATURAL GAS COMPANY, SPRINT-UNITED TELEPHONE COMPANY, T.C.I. TELEVISION CABLE COMPANY, CITY OF POULSBO and their respective successors and assigns under and upon the private street(s), if any, and the fifteen (15) feet of all lots, tracts and spaces within the plat lying parallel with and adjoining all street(s) in which to construct, operate, maintain, repair, replace and enlarge underground pipes, conduits, cables and wires with all necessary or convenient underground or ground-mounted appurtenances thereto for the purpose of serving this subdivision and other property with electric, gas, telephone and other utility service, together with the right to enter upon the streets, lots, tracts and spaces at all times for the purposes herein stated.

The Drainage Easement along the common line between Lots 11 and 12 is hereby reserved and conveyed to the City of Poulsbo for the purpose of reconstructing, repairing, replacing, operating and maintaining storm drainage facilities together with the right of ingress and egress upon the easement with any reasonably necessary equipment for such purposes without incurring any legal obligation or liability therefore. All other drainage easements depicted hereon are private and are hereby reserved and conveyed to the property owners for whose benefit the easement is established for the purpose of reconstructing, repairing, replacing, operating and maintaining storm drainage facilities together with the right of ingress and egress upon the easement with any reasonably necessary equipment for such purposes without incurring any legal obligation or liability therefore.

The Sidewalk Easements, as depicted hereon, are hereby reserved and conveyed to the City of Poulsbo for the purpose of reconstructing, repairing, replacing, and maintaining sidewalks together with the right of ingress and egress upon the easement with any reasonably necessary equipment for such purposes without incurring any legal obligation or liability therefore. Said sidewalk to benefit the general public for pedestrian use.

The Landscape Protection Easements depicted hereon are hereby reserved and conveyed to the Homeowners Association for the purpose of maintaining the required landscaping within the easement.

The easements granted herein are subject to the following terms and conditions:

1. Upon completion of any work within the property covered by the easement, the easement shall be restored as nearly as practicable to condition it was in immediately before commencement of the work or entry.

2. The property owner shall retain the right to use the surface of the easement as long as such use does not unreasonably interfere with the easement rights granted herein to the City of Poulsbo. The property owner shall not, however, have the right to:

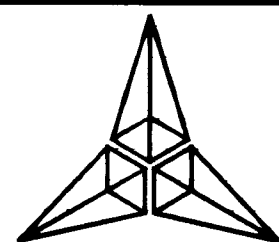
(a.) Erect or maintain any building or structures within the easement, except for fencing, which shall be subject to the approval of the City of Poulsbo Engineer or his designee; or

(b.) Plant trees, shrubs or vegetation having deep root patterns which may cause damage to or interfere with the utilities that are placed or will be placed within the easement by the City of Poulsbo; or

(c.) Develop, landscape, or beautify the easement area in any way which would unreasonably increase the costs to the City of Poulsbo of restoring the easement area. Typical northwest landscaping shall not be considered to unreasonably increase the cost to the City of Poulsbo of restoring the easement area.

SURVEYOR'S CERTIFICATE

I, Steven E. Ottmar, registered as a professional land surveyor by the state of Washington, certify that this plat is based on an actual survey of the land herein described, conducted by me or under my supervision, during the period JUNE 2002 through APRIL 2003 that the distances, courses, and angles are shown hereon correctly; and that monuments other than those monuments approved for setting at a later date, have been set and the lot corners staked on the ground as depicted on the Plat.



AES
CONSULTANTS, INC.
P.O. BOX 930 - SILVERDALE, WA 98363 - (360)892-6400

Drawn By: R.L.J.
Date: 4/21/03
Checked By: S.E.O.
Job No. 2188

ALASUND MEADOWS

Situate in
N.1/2 NW.1/4 SE.1/4 SEC. 13, TWP. 26N., RG. 1E., W.M.

NOTES:

- 1.) The maintenance of roof and yard drains and associated piping and appurtenances shall be the responsibility of the individual homeowners. All runoff from roof and yard drains must be directed in such a manner as to not adversely affect adjacent properties.
- 2.) The property owners within the plat shall be responsible for maintenance and repair of the sidewalk system and the planting strip within the existing and proposed right-of-way. The sidewalk "system" is defined as: the flat, hard surface sidewalk, together with all curbing, gutters and lot/sidewalk drainage facilities.
- 3.) A "Declaration of Covenant for Public Water Supplies" as recorded under Auditor's File No. 9309200092 was recorded for a proposed well to serve a proposed short plat. The proposed short plat was abandoned and is now a portion of this plat.
- 4.) Site is subject to an "Utility Extension Agreement" per Auditor's File No. 9501030255.
- 5.) Upon recording of this plat, the empty 4-inch conduit for future telecommunication use, installed within the street right-of-way and the utility easement on all lots and tracts lying parallel with and adjoining all streets, is hereby granted and conveyed to the City of Poulsbo.
- 6.) The property owners within the plat shall be responsible for maintenance of all landscaping within the existing and proposed right-of-way including any structures other than roadway, storm drainage facilities, and traffic signage. Per PMC 12.04.040, the owner of property adjacent to a street shall maintain the sidewalk system and any portion of the city right-of-way between the edge of the street and/or the right-of-way and the property line. Upon recording of the plat, storm drainage Tract A (detention pond) and Tract B (bioswale) are granted to the City of Poulsbo. The Homeowner's Association shall be responsible for landscaping, and maintenance of the landscaping, along the exterior of the fence on Tract A and on the surface of Tract B except within the perimeter of the bioswale itself. The Homeowner's Association shall retain easement rights to access the portions of Tract A and B described above for the maintenance of the surface and landscaping. Any surface or landscaping disturbed in the course of the maintenance or operation of the storm drainage facilities on Tract A or B by the developer during the 2-year maintenance period, or by the City thereafter, shall be restored to the condition before disturbance. The developer shall maintain the landscaping for Tracts A and B as described above until such time as the Homeowner's Association has been created. When the Homeowner's Association has been created, the Association will become responsible for maintenance of the landscaping.
- 7.) A.) Each perimeter lot in the plat shall either (1) have a 5 to 6-foot fence constructed and maintained along the full length of the plat boundary line, or (2) have a 15-foot landscape buffer installed and maintained along the full length of the plat boundary line. All fencing and/or landscape buffering shall be installed by the developer as part of the plat improvements. If the fencing option is chosen, the fence shall be constructed of commonly accepted materials and construction to insure long-term use. If the landscape buffer option is chosen, a landscape protection easement shall be conveyed to the Homeowners Association for future maintenance of the landscaped area. If the landscape buffer option is chosen, care shall be given to retain suitable existing trees that will provide a functional relief. The landscaping within the landscape protection easement shall be enhanced to include 4-6 feet, minimum height, conifers, planted at an average spacing of 12 feet, intermixed with cluster planting of 2-foot, minimum height, native type shrubs. The plat boundary line is defined as the common line between any lot within the plat of Alasund Meadows and adjacent private property not within the plat of Alasund Meadows. The plat boundary line is the rear lot line for all lots except Lots 1, 10, 15, 16, 20, 21, 22, 23 and 34. The plat boundary lines for the excepted lots are as follows: Lot 1-north lot line and east lot line; Lot 10-north lot line and west lot line; Lot 20-north lot line; and Lot 23-south lot line. Lots 15, 16, 21, 22 and 34 do not have any common lot lines with private property outside of the plat and are exempt from the requirement to retain a landscape protection easement or install a fence.

B.) If a lot has a fence and the property owner removes the fence, the property owner shall install a 15-foot wide landscape protection easement which includes planting of 4-6 feet minimum height conifers, planted at an average spacing of 12 feet, intermixed with cluster planting of 2 foot minimum height native type shrubs. The property owner shall then dedicate the 15-foot landscape easement to the Homeowner's Association. The easement shall be recorded with the Kitsap County Recorder and a copy shall be provided to the City of Poulsbo.

C.) If a lot has a landscape protection easement and no fence, the property owner may choose to install a fence and either retain or remove the vegetation in the landscape protection easement. If the vegetation is removed, the Homeowner's Association shall extinguish the easement. The document extinguishing the easement shall be recorded with the Kitsap County Recorder and a copy shall be provided to the City of Poulsbo.

D.) At the time of Final Plat, Lots 1-14, 17-20 and 23-29 include a landscape protection easement along their respective plat boundary lines. Lots 1, 30-33 and 35-40 include a fence along their respective plat boundary lines.

APPROVALS

Approved by the Engineering Department of the City of Poulsbo this
28 day of April, 2003.

John R. Stephenson
City Engineer, Poulsbo, Washington

Approved by the City of Poulsbo Planning Commission this
22 day of April, 2003.

Barry B. Balneak
Chairman, City of Poulsbo Planning Commission, Poulsbo, WA.

The City Council of the City of Poulsbo, meeting in regular session the
16th day of April, 2003, find that the Plat of Alasund
Meadows serves the public use and interest and has authorized its
Mayor to execute its written approval.

Bruce
Mayor, City of Poulsbo

TREASURERS CERTIFICATE

I, Barbara Stephenson, Treasurer of Kitsap County, Washington,
Hereby certify that all taxes on the herein described property are fully
paid to and including the year 2003.

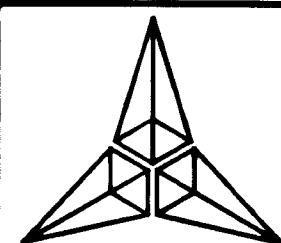
Kitsap County Treasurer, Jessette Lewis 5/14/03
Deputy

RECORDING CERTIFICATE

Filed for record at the request of _____
this 15 day of MAY, 2003, at 5 minutes past
NINE o'clock A.M., and recorded in volume 31 of plats,
pages 54, records of Kitsap County, Washington.

Karen Flynn
Kitsap County Auditor

Omeneis
By: Deputy



AES
CONSULTANTS, INC.
P.O. BOX 930 - SILVERDALE, WA 98383 - (360)862-6400

Drawn By: R.L.J.
Date: 4/21/03
Checked By: S.E.O.
Job No. 2188



4-22-2003

Sheet 2 of 5

Situate in
N.1/2 NW.1/4 SE.1/4 SEC. 13, TWP. 26N., RG. 1E., W.M.

Conc. Mon. &
brass cap.
Visited 3/14/83.

NE
20' 20' KEVO'S POND
DRIVE NE.

AES
CONSULTANTS, INC
P.O. BOX 930 • SILVERDALE, WA 98363 • (360)582-6400

Drawn By:	R.L.J.
Date:	4/21/03
Checked By:	S.E.O.
Job No.	2188

664.87' 20' Private Drainage Esm't
15' Landscaping Protection Esm't

UNPLATTED

Set Tack &
I.D. Washer
in large rock.

TRACT A

TRACT B

S 00°52'03" W
LOWER NOIL ROAD NE

30' 30

VICINITY MAP

Standard field traverse with Leitz 5" Total Station and steel tape. This survey meets minimum standards as set forth in W.A.C. 332-130-090.

Set 1/2" rebar flush with ground with yellow cap imprinted "S.E.O. 20795" with 2"x2" white guard stake at all lot corners.

- Set tack and I.D. washer in concrete filled 2" Iron Pipe in monument case.
- Set 4" Dia. concrete monument with 1/2"x24" rebar & plastic I.D. cap as center point.
- Found existing plat monument

NORTH: USC & GS



4-27-200

GRAPHIC SCALE



(IN FEET)
1 inch = 100 ft.

Sheet 3 of 5

Situate in N.1/2 NW.1/4 SE.1/4 SEC. 13, TWP. 26N., RG. 1E., W.M.

Situate in N.1/2 NW.1/4 SE.1/4 SEC. 13, TWP. 26N., RG. 1E., W.M.

LOT D S. P.# 6509

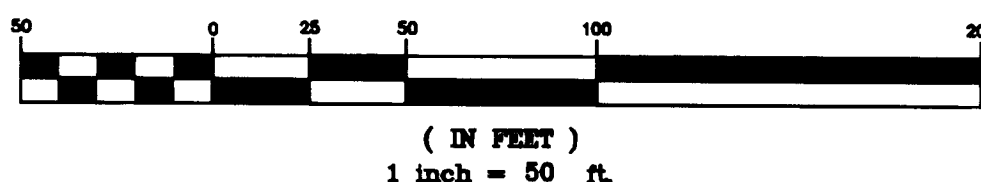


Standard field traverse with Leitz 5" Total Station and steel tape. This survey meets minimum standards as set forth in W.A.C. 332-130-090.

LEGEND

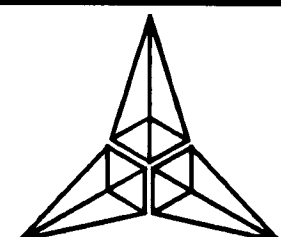
- △ Set 1/2" rebar flush with ground with yellow cap imprinted "S.E.Q. 20795" with 2"x2" white guard stake at all lot corners.
- Set tack with I.D. washer in sidewalk.
- Set tack and I.D. washer in concrete filled 2" Iron Pipe in monument case.
- Set 4" Dia. concrete monument with 1/2"x24" rebar & plastic I.D. cap as center point.
- Found existing plat monument

GRAPHIC SCALE



LINE TABLE		
LINE	BEARING	LENGTH
L1	S 00°52'03" W	17.59'
L2	N 43°45'12" W	26.06'
L3	N 43°45'12" W	26.06'
L7	N 00°55'41" E	36.04'
L8	N 00°55'41" E	36.04'

CURVE	RADIUS	LENGTH	DELTA
C1	25.00'	31.47'	72°07'46"
C2	25.00'	38.97'	89°18'08"
C3	145.00'	9.80'	03°52'25"
C4	145.00'	62.78'	24°48'22"
C5	145.00'	3.26'	01°17'22"
C6	25.00'	32.57'	74°39'02"
C7	25.00'	23.18'	53°07'48"
C8	50.00'	23.08'	26°26'46"
C14	25.00'	30.12'	69°01'19"
C15	25.00'	2.46'	05°37'43"
C16	145.00'	61.28'	24°12'45"
C29	50.00'	35.00'	40°06'25"
C30	50.00'	35.00'	40°06'25"
C31	50.00'	56.94'	65°15'11"
C32	25.00'	36.69'	84°05'11"
C33	195.00'	19.03'	05°35'30"
C34	195.00'	45.84'	13°28'13"
C35	195.00'	16.46'	04°50'15"
C36	105.00'	32.07'	17°30'03"
C37	105.00'	134.20'	73°13'38"
C38	125.00'	98.87'	45°19'07"
C39	125.00'	98.87'	45°19'07"
C40	175.00'	95.21'	31°10'15"



AES

CONSULTANTS

P.O. BOX 930 • SILVERDALE, WA 98383 • (360)892-6400

Drawn By:	R.L.J.
Date:	4/21/0
Checked By:	S.E.O.
Job No.	2188



30 0 311 1150

Sheet 4 of 5

ALASUND MEADOWS

Situate in N.1/2 NW.1/4 SE.1/4 SEC. 13, TWP. 26N., RG. 1E., W.M.

CURVE TABLE			
CURVE	RADIUS	LENGTH	DELTA
C7	25.00'	23.18'	53°07'48"
C8	50.00'	23.08'	26°26'46"
C9	50.00'	83.95'	96°11'48"
C10	50.00'	35.76'	40°58'29"
C11	50.00'	74.27'	85°06'09"
C12	50.00'	32.76'	37°32'25"
C13	25.00'	23.18'	53°07'48"
C14	25.00'	30.12'	69°01'19"
C15	25.00'	2.46'	05°37'43"
C16	145.00'	61.28'	24°12'45"
C17	145.00'	14.57'	05°45'24"
C18	155.02'	10.23'	03°46'50"
C19	155.02'	169.56'	62°40'07"
C20	155.02'	61.80'	22°50'24"
C21	155.02'	30.52'	11°16'43"
C22	25.00'	34.69'	79°29'59"
C23	25.00'	43.85'	100°30'01"
C24	195.00'	56.23'	16°31'15"
C25	195.00'	54.72'	16°04'37"
C26	195.00'	17.24'	05°03'58"
C27	25.00'	36.69'	84°05'11"
C28	50.00'	53.61'	61°25'57"
C29	50.00'	35.00'	40°06'25"
C32	25.00'	36.69'	84°05'11"
C33	195.00'	19.03'	05°35'30"
C34	195.00'	45.84'	13°28'13"
C40	175.00'	132.14'	43°15'46"
C41	175.00'	174.18'	57°01'38"

LINE TABLE		
LINE	BEARING	LENGTH
L3	N 43°45'12" W	37.91'
L4	N 43°45'12" W	45.29'
L5	S 88°23'00" E	59.86'
L6	N 43°45'12" W	26.06'
L7	S 00°55'41" W	36.04'
L8	S 78°46'55" E	30.15'
L9	N 78°46'55" W	5.00'
L11	S 00°55'41" W	36.04'
L12	N 22°26'49" W	35.59'

PROCEDURES & EQUIPMENT

Standard field traverse with Leitz 5" Total Station and steel tape. This survey meets minimum standards as set forth in W.A.C. 332-130-090.

LEGEND

Set 1/2" rebar flush with ground with yellow cap imprinted "S.E.O. 20795" with 2"x2" white guard stake at all lot corners.

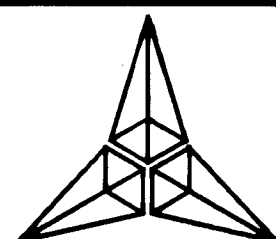
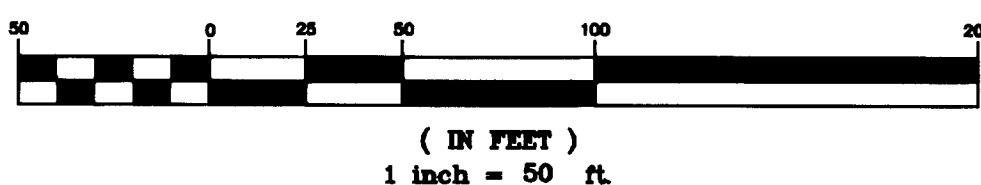
▲ Set tack with I.D. washer in sidewalk.

● Set tack and I.D. washer in concrete filled 2" Iron Pipe in monument case.

■ Set 4" Dia. concrete monument with 1/2"x24" rebar & plastic I.D. cap as center point.

□ Found existing plat monument

GRAPHIC SCALE

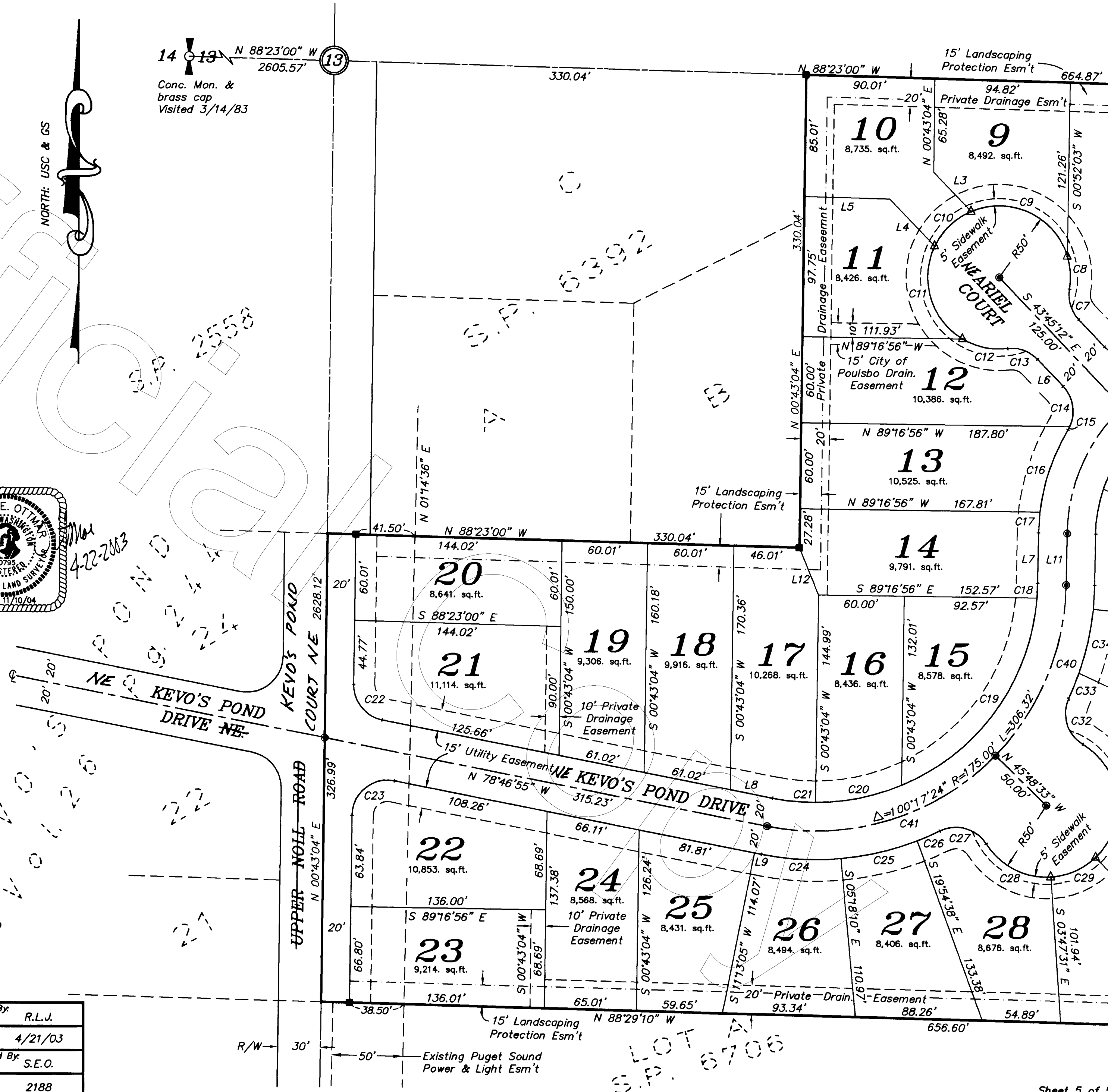


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NORTH: USC & GS

14 13 N 88°23'00" W 2605.57'
Conc. Mon. & brass cap
Visited 3/14/83



LOT 27
S.P. 6706