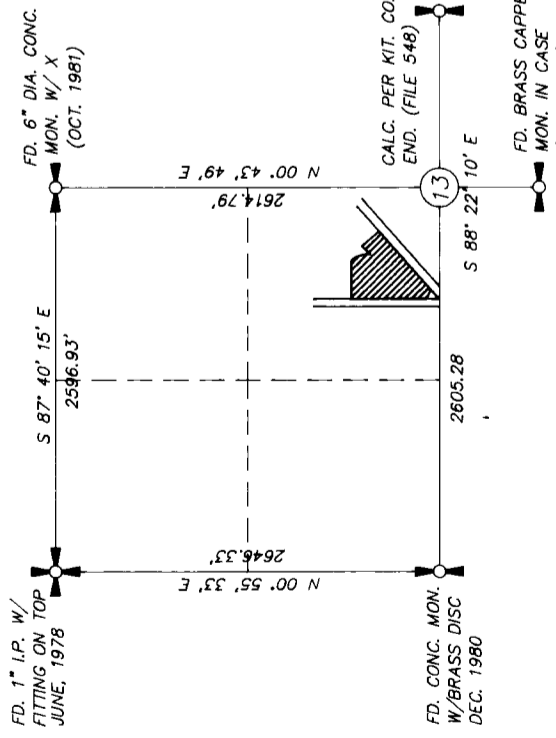


PLAT OF APPLEWOOD ESTATES DIVISION 1

A PORTION OF SE 1/4, NW 1/4, SECTION 13, T 26 N, RANGE 1 EAST, W.M. WASHINGTON
KITSAP COUNTY,

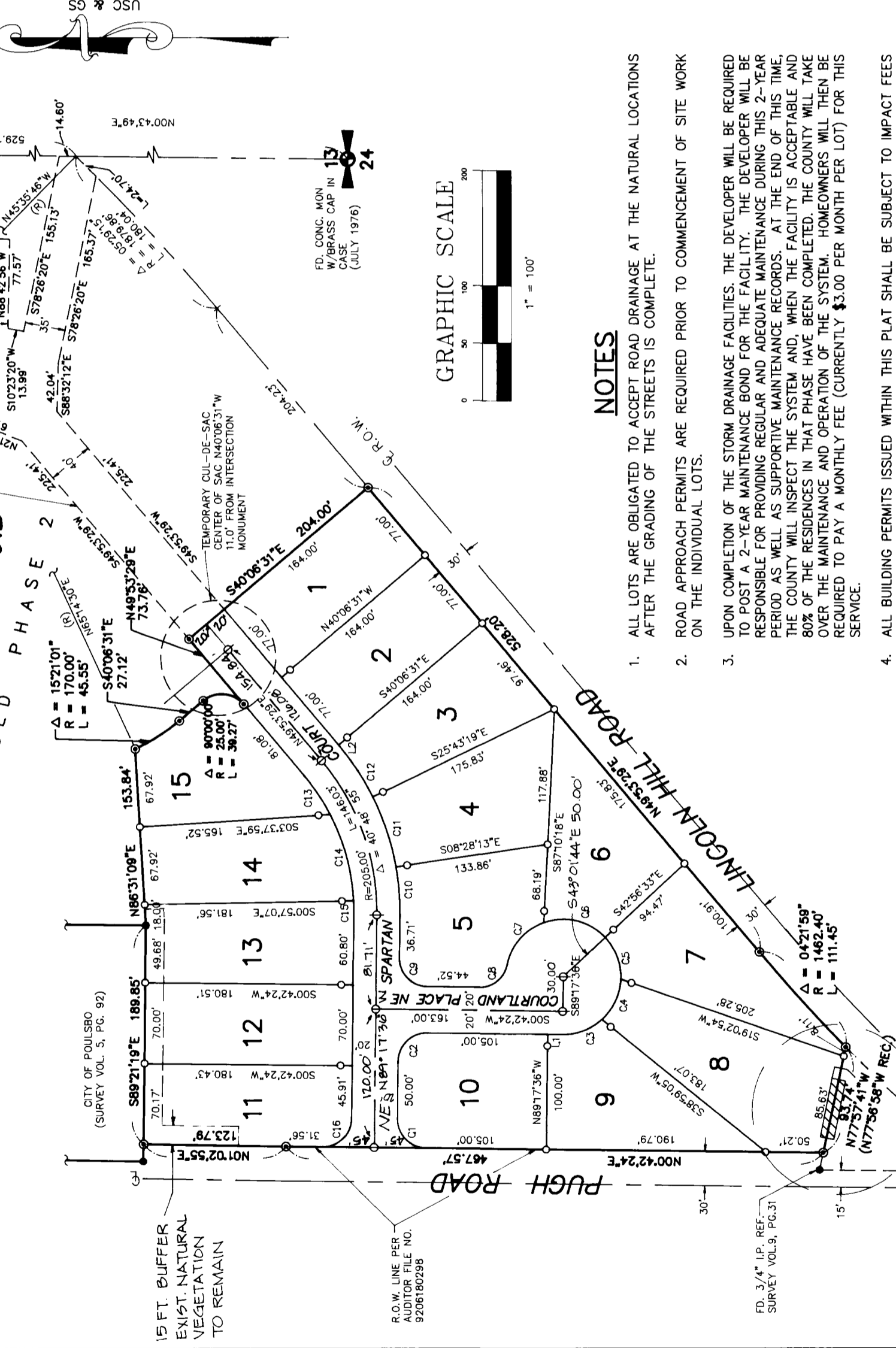
LEGEND

- FOUND SECTION CORNER MONUMENT
- SET 2" I.P. W/CONCRETE & L.S. TAG (PLAT COR.)
- SET 3/4" I.P. W/L.S. PLUG ● LOT COR.
- SET 3/4" I.P. W/L.S. PLUG ● 10' FROM LOT FRONT CORNER
- ⊕ SET BRASS PLUG IN CONCRETE IN P.W.M.T.
- EXST. I.P. REF. SURVEY VOL. 00 PAGE 000

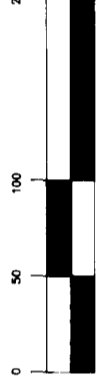


SECTION SUBDIVISION N.T.S.

PROPOSED PHASE 2

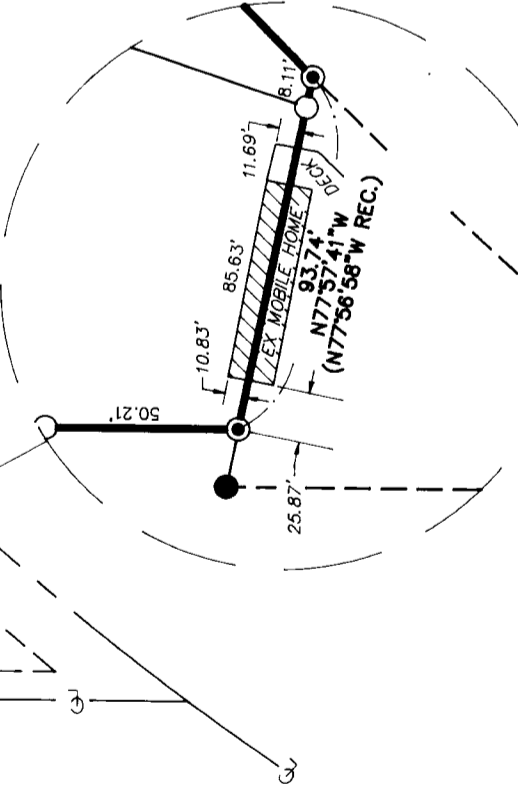


GRAPHIC SCALE



NOTES

1. ALL LOTS ARE OBLIGATED TO ACCEPT ROAD DRAINAGE AT THE NATURAL LOCATIONS AFTER THE GRADING OF THE STREETS IS COMPLETE.
2. ROAD APPROACH PERMITS ARE REQUIRED PRIOR TO COMMENCEMENT OF SITE WORK ON THE INDIVIDUAL LOTS.
3. UPON COMPLETION OF THE STORM DRAINAGE FACILITIES, THE DEVELOPER WILL BE REQUIRED TO POST A 2-YEAR MAINTENANCE BOND FOR THE FACILITY. THE DEVELOPER WILL BE RESPONSIBLE FOR PROVIDING REGULAR AND ADEQUATE MAINTENANCE DURING THIS 2-YEAR PERIOD AS WELL AS SUPPORTIVE MAINTENANCE RECORDS. AT THE END OF THIS TIME, THE COUNTY WILL INSPECT THE SYSTEM AND, WHEN THE FACILITY IS ACCEPTABLE AND 80% OF THE RESIDENCES IN THAT PHASE HAVE BEEN COMPLETED, THE COUNTY WILL TAKE OVER THE MAINTENANCE AND OPERATION OF THE SYSTEM. HOMEOWNERS WILL THEN BE REQUIRED TO PAY A MONTHLY FEE (CURRENTLY \$3.00 PER MONTH PER LOT) FOR THIS SERVICE.
4. ALL BUILDING PERMITS ISSUED WITHIN THIS PLAT SHALL BE SUBJECT TO IMPACT FEES PURSUANT TO KITSAP COUNTY RESOLUTION NO. 110-1991.
5. THIS SURVEY MEETS MINIMUM REQUIREMENT STANDARDS PER WAC 332-130-090.
6. FIELD PROCEDURES ACCOMPLISHED RUNNING CONTROL TRAVERSES AND RADIAL CORNER STAKE OUT WITH A THREE SECOND THEODOLITE, E.D.M. AND CALIBRATED STEEL MEASURING TAPE.
7. EASEMENT RECORDED UNDER AUDITOR'S FILE NUMBER 9212240132 IS FOR PUGET POWER AND AFFECTS A PORTION OF SAID PROPERTY. REFER TO EASEMENT RESERVATIONS.
8. THIS PROPERTY IS SUBJECT TO THE COSTS OF SIDEWALK IMPROVEMENTS ALONG LINCOLN ROAD AND PUGH ROAD. IN THE EVENT THAT THE KITSAP COUNTY ENGINEER DETERMINES THAT SIDEWALK IMPROVEMENTS ARE NECESSARY, THE OWNER OF THE PROPERTY SHALL BEAR ITS SHARE OF THE COST OF SUCH IMPROVEMENTS.
9. SHOULD A COUNTY ROAD IMPROVEMENT DISTRICT (C.R.I.D.) AND/OR A UTILITIES LOCAL IMPROVEMENT DISTRICT (U.L.I.D.) BE FORMED WHICH INCLUDES THIS PROPERTY, THE OWNERS AND FUTURE OWNERS OF THIS PROPERTY SHALL BE OBLIGATED TO PARTICIPATE.
10. ALL RUNOFF FROM ROOF AND YARD DRAINS MUST BE DIRECTED IN SUCH A MANNER SO AS TO NOT ADVERSELY AFFECT ADJACENT PROPERTIES.



EASEMENT RESERVATIONS

A UTILITY EASEMENT IS HEREBY RESERVED FOR BUT NOT LIMITED TO: KITSAP COUNTY, THE CITY OF POULSBORO, PUGET SOUND POWER & LIGHT, US WEST COMMUNICATIONS, CABLE TELEVISION COMPANY, AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, UNDER AND UPON THE FRONT TEN FEET PARALLEL WITH AND ADJOINING THE STREET FRONTAGE OF ALL LOTS IN WHICH TO INSTALL, LAY, CONSTRUCT, RENEW, OPERATE, AND MAINTAIN UNDERGROUND PIPE, CONDUIT, CABLES AND WIRES WITH NECESSARY FACILITIES AND OTHER EQUIPMENT FOR THE PURPOSE OF ELECTRIC, TELEPHONE AND UTILITY SERVICE TOGETHER WITH THE RIGHT TO ENTER UPON THE LOTS AT ALL TIMES FOR THE PURPOSES HEREIN STATED. THESE EASEMENTS ENTERED UPON FOR THESE PURPOSES SHALL BE RESTORED AS NEAR AS POSSIBLE TO THEIR ORIGINAL CONDITION, NO LINES OR WIRES FOR THE TRANSMISSION OF ELECTRICAL CURRENT OR FOR TELEPHONE USE OR CABLE TELEVISION SHALL BE PLACED OR PERMITTED TO BE ATTACHED TO ANY LOT UNLESS THE SAME SHALL BE UNDERGROUND OR IN CONDUIT ATTACHED TO A BUILDING. ALSO, EACH LOT SHALL BE SUBJECT TO AN EASEMENT 2.50 FEET IN WIDTH, PARALLEL WITH AND ADJACENT TO ALL INTERIOR LOT LINES FOR THE PURPOSE OF UTILITIES AND DRAINAGE.

LEGAL DESCRIPTION

THAT PORTION OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 13, TOWNSHIP 26 NORTH, RANGE 1 EAST, W.M., IN KITSAP COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 13; THENCE ALONG THE NORTH-SOUTH CENTERLINE OF SAID SECTION S 00°43'49\"/>

LINE TABLE

LINE	DIRECTION	DISTANCE
L1	S00°42'24\"/>	
L2	S49°53'29\"/>	

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA
C1	25.00'	39.27'	90°00'00\"/>
C2	25.00'	39.27'	90°00'00\"/>
C3	50.00'	37.49'	42°57'43\"/>
C4	50.00'	39.61'	45°23'21\"/>
C5	50.00'	39.61'	45°23'06\"/>
C6	50.00'	58.07'	66°32'41\"/>
C7	50.00'	50.77'	58°10'57\"/>
C8	25.00'	34.24'	78°27'47\"/>
C9	25.00'	39.27'	90°00'00\"/>
C10	225.00'	42.24'	10°45'20\"/>
C11	225.00'	64.61'	16°27'10\"/>
C12	225.00'	53.44'	13°36'26\"/>
C13	185.00'	41.10'	12°43'46\"/>
C14	185.00'	78.59'	24°20'20\"/>
C15	185.00'	12.10'	03°44'49\"/>
C16	25.00'	39.27'	90°00'00\"/>

SURVEYOR'S CERTIFICATE

I, A.C. BATISTA REGISTERED AS A LAND SURVEYOR BY THE STATE OF WASHINGTON, CERTIFY THAT THIS PLAT IS BASED ON AN ACTUAL SURVEY OF THE LAND DESCRIBED HEREIN, CONDUCTED BY ME OR UNDER MY SUPERVISION, DURING THE PERIOD OF _____ THROUGH _____ THAT THE DISTANCE, COURSES, AND ANGLES ARE SHOWN THEREON CORRECTLY, AND THAT MONUMENTS OTHER THAN THOSE MONUMENTS APPROVED FOR SETTING AT A LATER DATE HAVE BEEN SET AND LOT CORNERS STAKED ON THE GROUND AS DEPICTED ON THE PLAT.

A.C. Batista
A.C. BATISTA
REGISTERED LAND SURVEYOR
CERTIFICATE No. 20620



ENGINEERING & SURVEYING
PLANNING
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